

CONDITIONAL USE / SITE PLAN REVIEW APPLICATION

Racine County, Wisconsin

Owner: Boticki John & Cara
Town: Norway

Applicant/Agent: Michael Lawrence
Zoning district(s): R-5

TO THE RACINE COUNTY ECONOMIC DEVELOPMENT & LAND USE PLANNING COMMITTEE:

The undersigned requests a conditional use / site plan review permit to (specify use, project, structure, size, etc.)

Place fill in the FFO, Urban Floodplain Fringe Overlay District and
Construct a single family residence with an attached garage and covered
porch; located directly west of 7809 E. Wind Lake Road

AT (site address): East Wind Lake Rd

Subdivision: Henbest's Subdivision Lot(s): 35 & 36 Block: -

Parcel # 010042003155000 Section(s) 3 T 4 N R 20 E

If served by municipal sewer, check here: Sanitary permit #: N/A

Attached are:

- zoning permit application
- 12 SETS: drawn-to-scale site plan that is based on a survey (10 of the 12 should be sized or folded to 8.5" x 11")
- letter of agent status
- hearing/review fee (Fees are non-refundable, & re-publication/amendment fees will be charged where applicable.)
- 3 SETS: landscaping/lighting plan
- 12 SETS: report/cover letter & operations plan
- abutting property owners' names & mailing addresses
- other

print name: Michael Lawrence
address: 2023 Carla's Way
Mount Pleasant, WI 53406

e-mail address: mike@josephscotthomes.com
telephone #: 262-945-2233

signed: 

STAFF USE ONLY:

BASED ON CURRENT MAPPING, check applicable statement(s) below & underline or circle the word "all" or "partially".

- The property is all / partially located in the Wind Lake shoreland area.
- The project is all / partially located in the Wind Lake shoreland area.
- The property is all / partially located in the Wind Lake floodplain.
- The project is all / partially located in the Wind Lake floodplain.
- The property is all / partially located in the wetland.
- The project is all / partially located in the wetland.

The applicant is subject to the following Racine County Ordinance provisions (specify article/section):

Article VI, Division 8 R-5 Urban Residential District II; Art. VII Div. 3 Shoreland; Art VIII Div. 8 Shoreland Uses;
Section 20-1595 Standards for Development in the FFO

Shoreland contract: yes no

Public hearing date: May 17, 2021

Site plan review meeting date: N/A

Submittal received by: STM

Date petition filed: 4-19-2021

cash or check #: 008423

amount received: \$ 520.00

APPLICATION FOR ZONING PERMIT
 RACINE COUNTY, WISCONSIN (Rev. 11/20)

PERMIT NO. _____
 DATE PERMIT ISSUED _____

OWNER John & Lara Boticki
 Mailing Address 5811 Pilgrim Way
Racine WI 53406
 City State Zip
 Phone (H) 262-880-5574 (W) _____

APPLICANT Joseph Scott Homes
 Mailing Address 8112 Creek View Ln
Mount Pleasant WI 53406
 City State Zip
 Phone (H) 262-9222 x 704 (W) _____

Parcel Id. # 010042003155000 Site Address _____

Municipality Town of Norway Section(s) 3 Town 4 North, Range 20 East

Lot 35-31B Block _____ Subdivision Name Henbest's Subdivision of Wind Lake CSM # -

Proposed Construction/Use new 2 story 4 bedroom home w/ attached garage & covered porch

New Addition	<input checked="" type="checkbox"/>	Principal Bldg.	<input checked="" type="checkbox"/>	Size	(<u>94.5'</u> x <u>46.0'</u>) (- x -) (- x -)
Alteration	_____	Accessory	_____	Area (sq ft)	(<u>2075 1st floor</u>) (-) (-)
Conversion	_____	Deck	_____	# of Units/Stories	<u>1 / 2</u>
Temporary	_____	Sign	_____	Building Ht.-Avg. (ft.)	<u>28'</u>
		Other	_____	Peak Ht. (ft.)	<u>35'</u>
				100-Yr. Floodplain Elev.	<u>772.8'</u>
				Eave Ht. (ft.)	<u>21'</u>
				Flood Protection Elev.	_____

Contractor	<u>Joseph Scott Homes</u>	Est. Value w/Labor \$	<u>6329101</u>	ZONING DISTRICT	<u>R-5</u>
Existing Nonconforming?	<u>N/A</u> <input checked="" type="checkbox"/>	* Yes	_____ No	Yard Setbacks	Proposed, OK?
*Structure's Fair Mrkt Value \$	<u>N/A</u>	Cumulative %	_____	Street-1 st	<u>27.94</u> <u>Y</u>
*>50% of Fair Market Value?	<u>N/A</u> <input checked="" type="checkbox"/>	Yes	_____ No	Street-2 nd	<u>-</u> <u>-</u>
Structure in Shoreland? (per map)	Yes <input checked="" type="checkbox"/> No	Yes <input checked="" type="checkbox"/> No	_____	Side-1 st	<u>31.31'</u> <u>Y</u>
Structure in Floodplain? (per map)	Yes <input checked="" type="checkbox"/> No	Yes <input checked="" type="checkbox"/> No	_____	Side-2 nd	<u>24.58'</u> <u>Y</u>
Structure in Wetland? (per map)	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	_____	Rear	<u>-</u> <u>-</u>
Substandard Lot?	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	_____	Shore	<u>>350.00</u> <u>Y</u>
Abutting Lot-Same Owner/Closely Related?	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	_____	Total Acc. Structures	<u>-</u> <u>-</u>
BOA Variance Needed?	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	_____	Date of Approval	<u>-</u>
<u>Conditional Use</u> Site Plan Needed?	Yes <input checked="" type="checkbox"/> No	Yes _____ No _____	_____	Date of Approval	_____
Shoreland Contract Needed?	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	_____	Date of Approval	<u>-</u>

Additional Zoning Permit Stipulations Listed on Back of this Form? Yes _____ No (If "Yes," see back)

The applicant hereby acknowledges receipt of notice contained herein and certifies that submitted information/ attachments are true and correct to the best of the knowledge and belief of the signer, and that all construction/ use will be done in accordance with the Zoning Ordinance, applicable stipulations, and Wisconsin laws.

BOA/Conditional Use Site Plan Pd: \$ 520.00
 CC Date/Check/Cash # 008423
 Signature of Owner /Applicant Michael Lawrence Date 4-20-21
 Print Name(s) _____

Zoning Permit Fee Pd: \$ 500.00
 CC Date/Check/Cash # _____
 Notes (revisions, extensions, etc.) _____

Other: _____ Pd: \$ _____
 Zoning Administrator _____ (Staff Initials) WLS

Make checks payable to "Racine County Development Services" - Note: ALL FEES ARE NONREFUNDABLE (OVER)

PIN 0100420 - 03 - 155000
 RECEIVED
 APR 19 2021



April 16, 2021

To: Racine County Development Services

RE: Boticki Residence lots 35 & 36 Henbest's Subdivision-Site Plan Review
and Zoning

To whom it may concern,

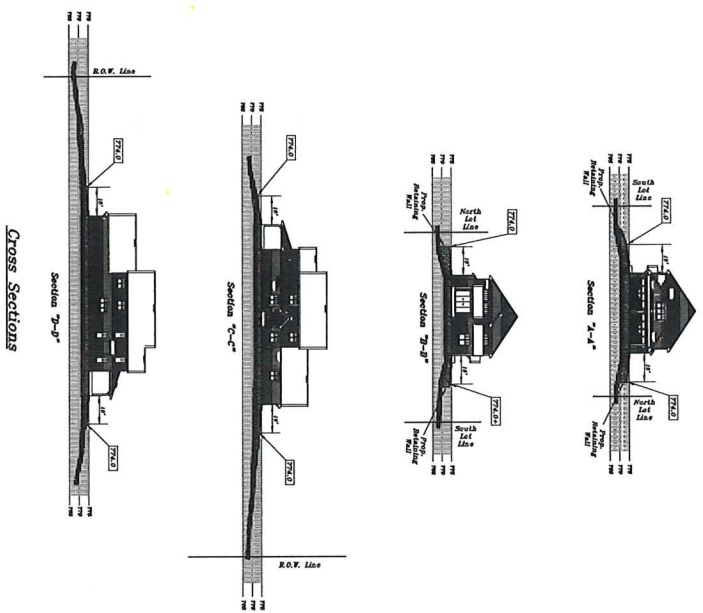
Joseph Scott Homes will be constructing a 4 bedroom home with attached garage and covered porch on vacant land at the above mentioned site. Clean fill may be needed to be brought in to fill the lot as shown on the submitted plans in order to create the building site for home. Retaining walls will be installed and used to contain the fill where needed brought in also as shown on the submitted plan. Proposed construction to begin on or around June 1, 2021 and completion of project ending December 30, 2021.

Thank you,

Michael Lawrence
Owner/Member Joseph Scott Homes

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METROPOLITAN SURVEY SERVICE, INC.
PROFESSIONAL LAND SURVEYORS
 4410 Valley Avenue, Milwaukee, Wisconsin 53130
 PH. (414) 328-3300
 www.metroprofessionalsurveyors.com
 1 - Donated Iron Pipe Found
 0 - Donated Proposed Grade
 0/0/0 - Donated Proposed Silt Screen



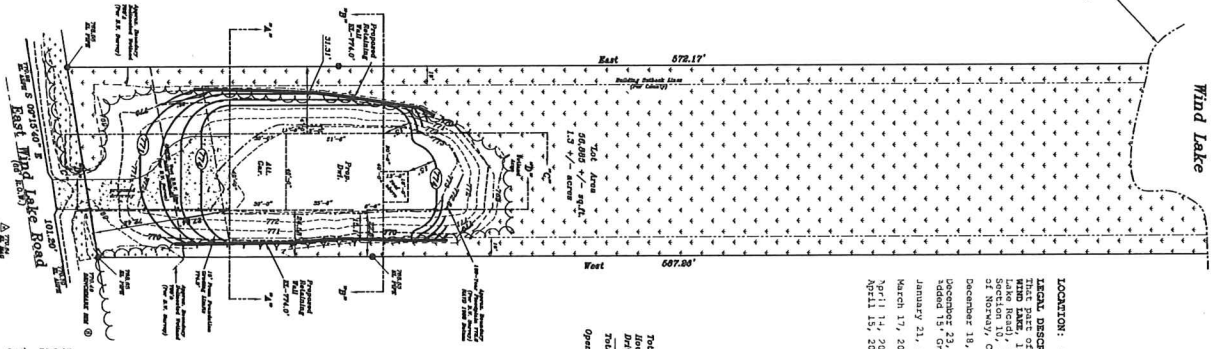
Proposed finished and 1st floor or top of foundation grade shown on this plan shall be subject to the owner, builder or municipality.

Proposed finished and 1st floor or top of foundation grade shown on this plan shall be subject to the owner, builder or municipality.

LEGEND DATA This property is in Zone _____ of the City of Racine, Wisconsin. The dimensions of which have an effective date of 02/27/2017, and is in a Special Use District. An emission condition may be attached to the administration or copy of this plan as a condition from the Federal Emergency Management Agency.

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Ordinary High Water Mark Elevation 708.0'



PLAN OF SURVEY

Joseph Scott Homas
 Resident

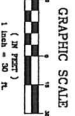
LEGAL DESCRIPTION:
 That part of Lots 35 and 36 in Henery's Subdivision on Wind Lake, 1/4th West of the Existing Road (East Wind Road), Township 4 North, Range 20 East, in the Town of Norway, County of Racine and State of Wisconsin.

December 19, 2020 (Crawling Only)
 December 23, 2020 Moved Foundation Plan (Not Staked)
 March 13, 2021 Grading/1st Flr
 January 21, 2021 Topography and Grading Plan Add
 March 17, 2021 Updated Staking
 April 15, 2021 Cross-Sections Revised

Survey No. 112193-5

MEASURED AREAS/FOOT COVERAGE
 Total Lot Area 56,000 +/- sq. ft.
 Total Building Area 1,680 sq. ft. / 3.0%
 Total 5,415 sq. ft. / 9.7%
 Open Space 51,385 sq. ft. / 92.3%

NOTES:
 1. All measurements were taken and finished on the ground.
 2. The survey was conducted in accordance with the Wisconsin Statutes and the National Surveying and Mapping Act of 2002.
 3. The survey was conducted in accordance with the Wisconsin Statutes and the National Surveying and Mapping Act of 2002.



Dennis C. Seiser
 Professional Land Surveyor

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE DIMENSIONS AND AREA THEREON ARE CORRECTLY SHOWN ON THIS PLAN IN ACCORDANCE WITH THE WISCONSIN STATUTES AND THE NATIONAL SURVEYING AND MAPPING ACT OF 2002. I HAVE ALSO CERTIFIED THAT THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE WISCONSIN STATUTES AND THE NATIONAL SURVEYING AND MAPPING ACT OF 2002.

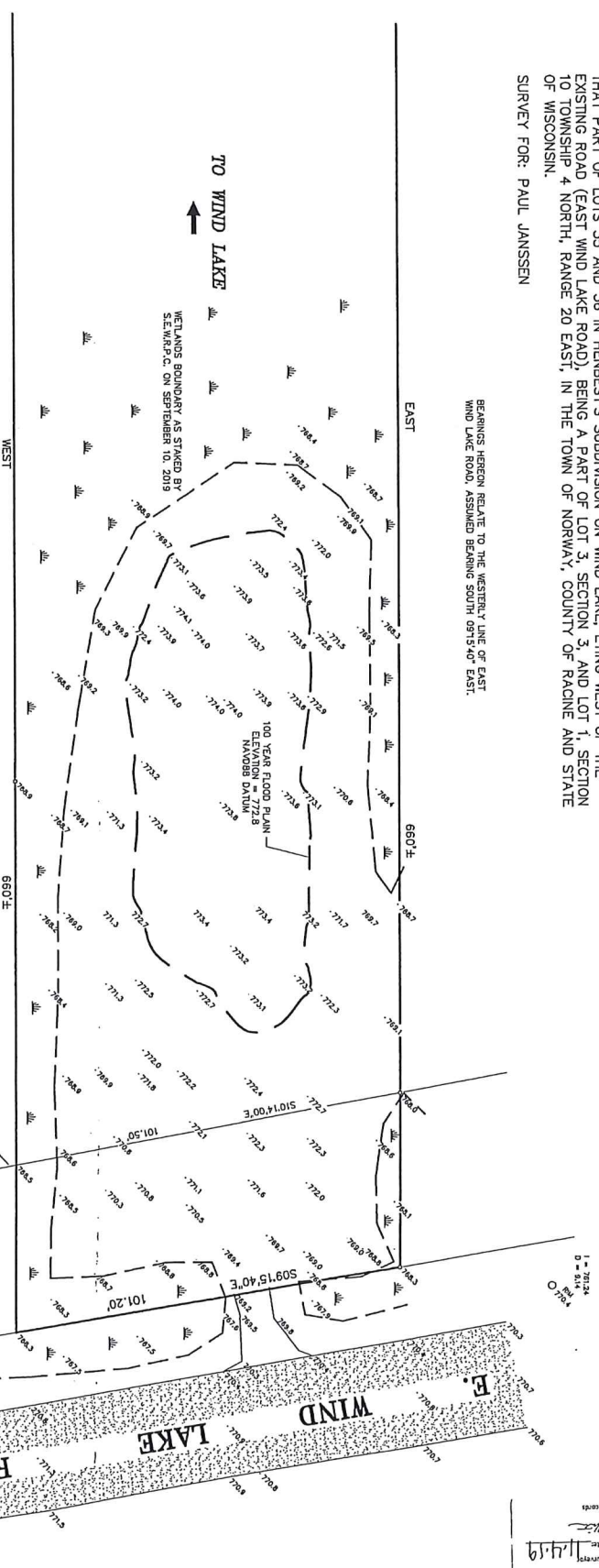
010-04-20-03-156-000
 010-04-20-03-155-000

828738
 K. J. & D. J.
 11.4.19

PLAT OF SURVEY
 -OF-
 EXISTING ELEVATIONS AND WETLAND AS SHOWN
 -OF-

THAT PART OF LOTS 35 AND 36 IN HENBEST'S SUBDIVISION ON WIND LAKE, LYING WEST OF THE EXISTING ROAD (EAST WIND LAKE ROAD), BEING A PART OF LOT 3, SECTION 3, AND LOT 1, SECTION 10 TOWNSHIP 4 NORTH, RANGE 20 EAST, IN THE TOWN OF NORWAY, COUNTY OF RACINE AND STATE OF WISCONSIN.
 SURVEY FOR: PAUL JANSENSEN

BEARINGS HEREON RELATE TO THE WESTERLY LINE OF EAST WIND LAKE ROAD, ASSUMED BEARING SOUTH 93°15'40" EAST.



NOTE: THIS SURVEY IS FOR ELEVATION AND WETLAND LOCATION PURPOSES ONLY. LOT CORNERS PER PREVIOUS SURVEY BY THIS OFFICE NOT RELOCATED.

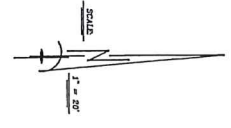
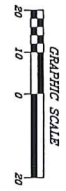
I, Robert J. Weitzel, have surveyed the above described premises and shown the location of the exterior boundaries, the location of all visible structures and dimensions, easements, roadways and encroachments, if any.
 This survey is made for the use of the present owners of the property, and those who purchase, mortgage, or otherwise take title thereto within one year from date hereof.



THIS IS NOT AN ORIGINAL PLAT
 MADE BY THE SURVEYOR
 ROBERT J. WEITZEL
 S-1778

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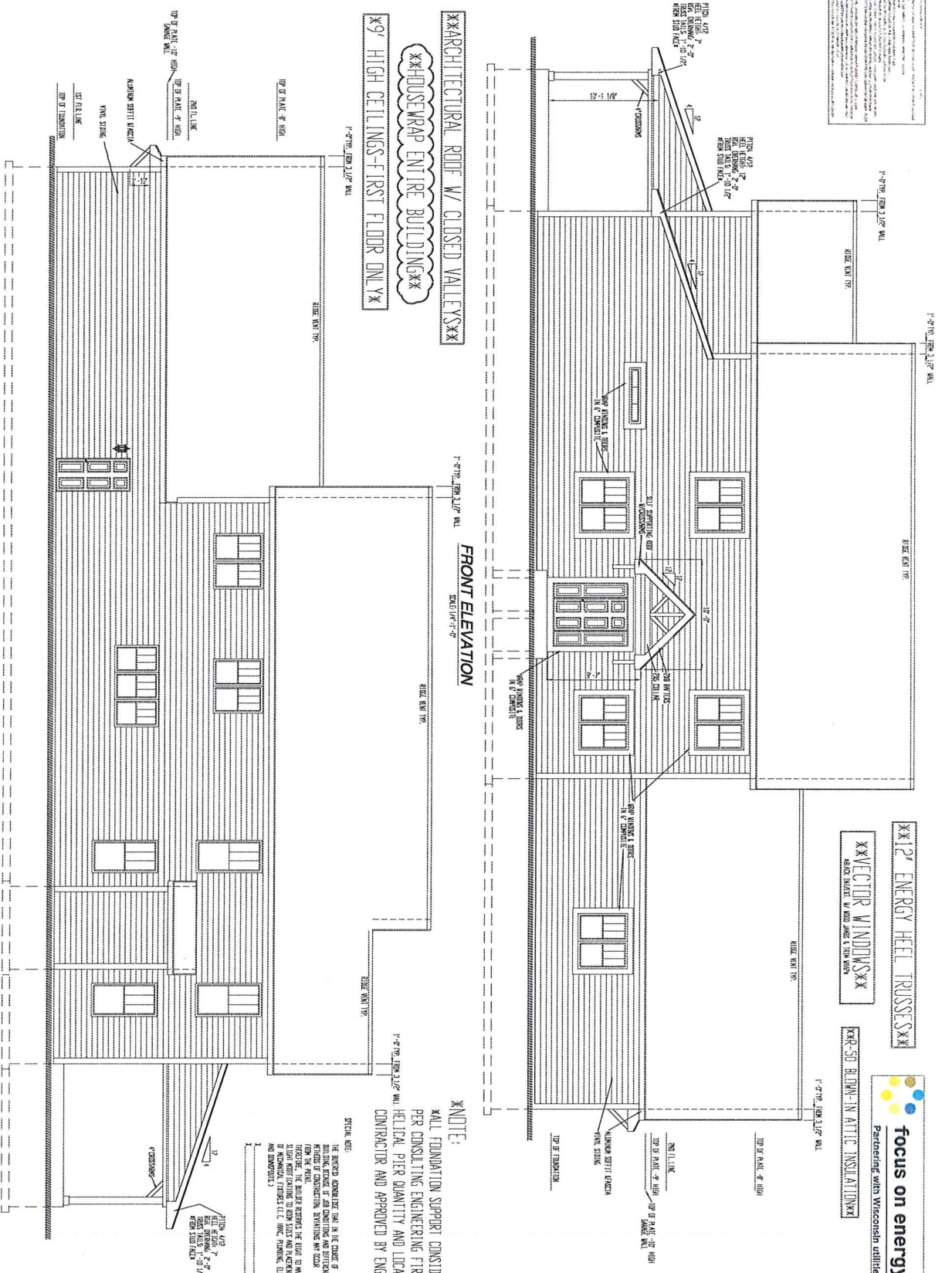
B.W. SURVEYING, INC.
 412 N. PINE STREET
 BURLINGTON, WI 53105
 (262)-767-0225



LEGEND
 ○ FOUND IRON PEG
 ○ EXISTING ELEVATION

DATE/REV. BY:	DATE:	REVISION:
DRAWN BY:	DATE:	REVISION:
CHECKED BY:	DATE:	REVISION:
JOB NO.:		

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISH GRADE SHALL BE INDICATED BY A DASHED LINE.
 3. FOUNDATION SHALL BE CONCRETE ON GRADE.
 4. ROOF SHALL BE ASPH/FLT SHINGLES.
 5. EXTERIOR WALLS SHALL BE BRICK OR VINYL SIDING.
 6. INTERIOR WALLS SHALL BE GYP BOARD.
 7. FLOORING SHALL BE 3/4" OSB OR 1/2" CDX OSB.
 8. CEILING SHALL BE 5/8" GYP BOARD.
 9. DOORS SHALL BE 6'0" X 2'0" WITH 1 1/2" RISE.
 10. WINDOWS SHALL BE 20' X 30' DOUBLE HUNG WITH 2" RISE.
 11. ALL WINDOWS SHALL BE ENERGY EFFICIENT.
 12. ROOF PITCH SHALL BE 12/12.
 13. GUTTERS SHALL BE 5" ALUMINUM.
 14. DOWNSPUTS SHALL BE 2" ALUMINUM.
 15. ALL ELECTRICAL SHALL BE PER LOCAL CODES.
 16. ALL MECHANICAL SHALL BE PER LOCAL CODES.
 17. ALL PLUMBING SHALL BE PER LOCAL CODES.
 18. ALL FINISHES SHALL BE PER LOCAL CODES.
 19. ALL MATERIALS SHALL BE PER LOCAL CODES.
 20. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



ENERGY EFFICIENT TRUSSES

VECTOR WINDOWS

BLOW-IN ATTIC INSULATION



RESIDENCE CUSTOM DESIGNED FOR:
CUSTOMER: BOTICKI RESIDENCE
MODEL: CUSTOM 2-STORY
LOCATION:



MADDGADDER
 CUSTOM HOME DESIGN

REVISIONS:
 1/2/2021

ISSUED BY SHEET
 DATE / 20 / 2021
 1 / 7

RECEIVED

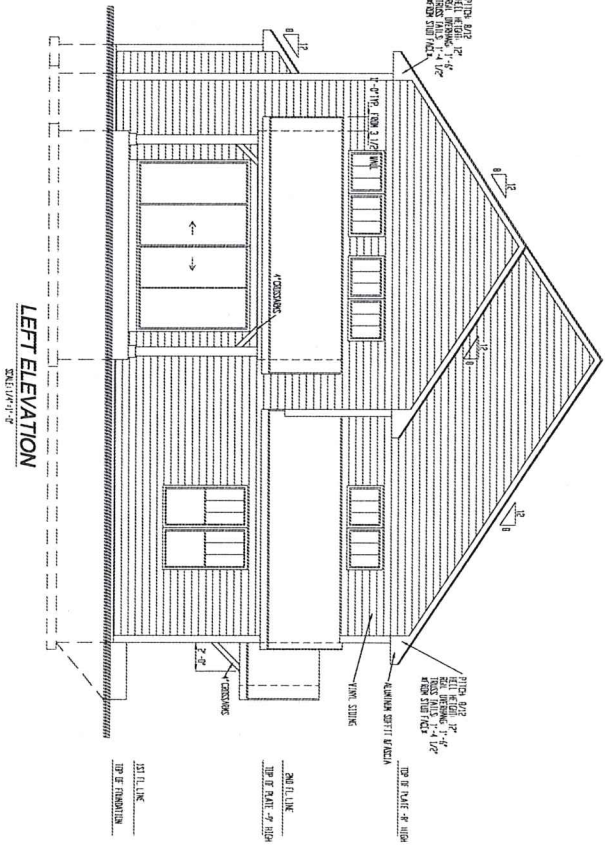
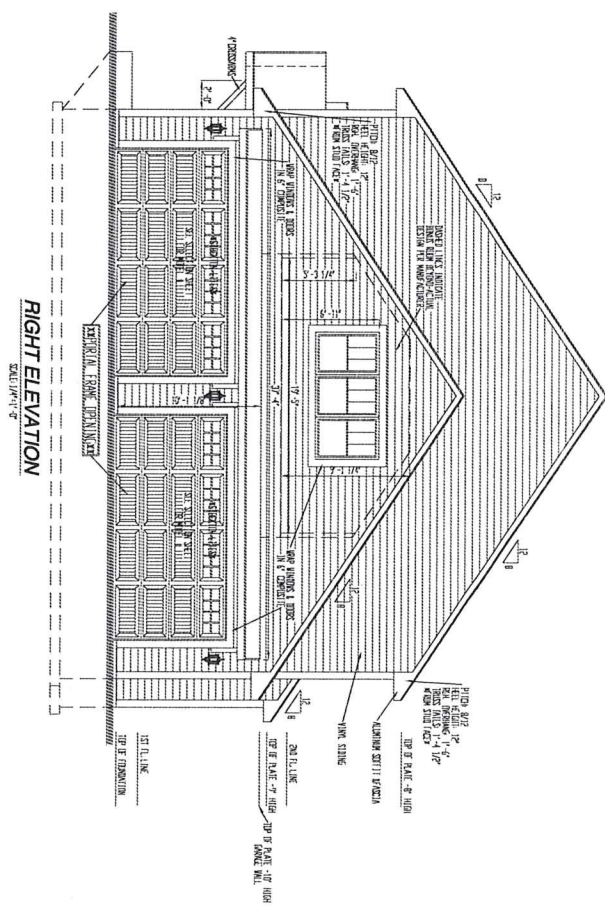
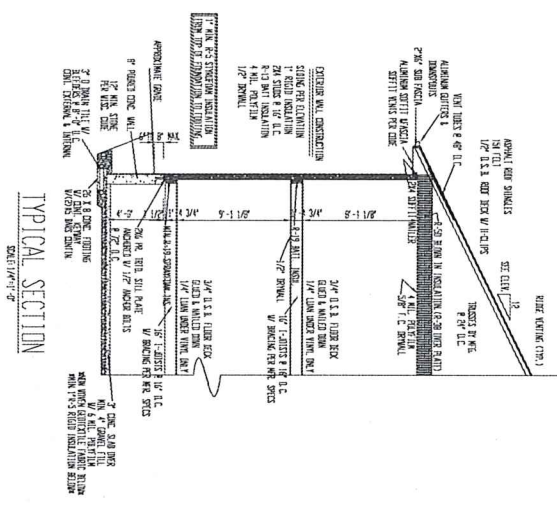
APR 19 2021

RACINE COUNTY

NOTE:
 WALL FOUNDATION SUPPORT CONSIDERATIONS
 PER CONSULTING ENGINEERING FIRM
 HELICAL PIER QUANTITY AND LOCATION PER
 CONTRACTOR AND APPROVED BY ENGINEER

VECTOR WINDOWS**
 ENERGY HEEL TRUSSES**
 ARCHITECTURAL ROOF W/ CLOSED VALLEYS**

HOUSEWRAP ENTIRE BUILDING**
 9' HIGH CEILINGS-FIRST FLOOR ONLY**



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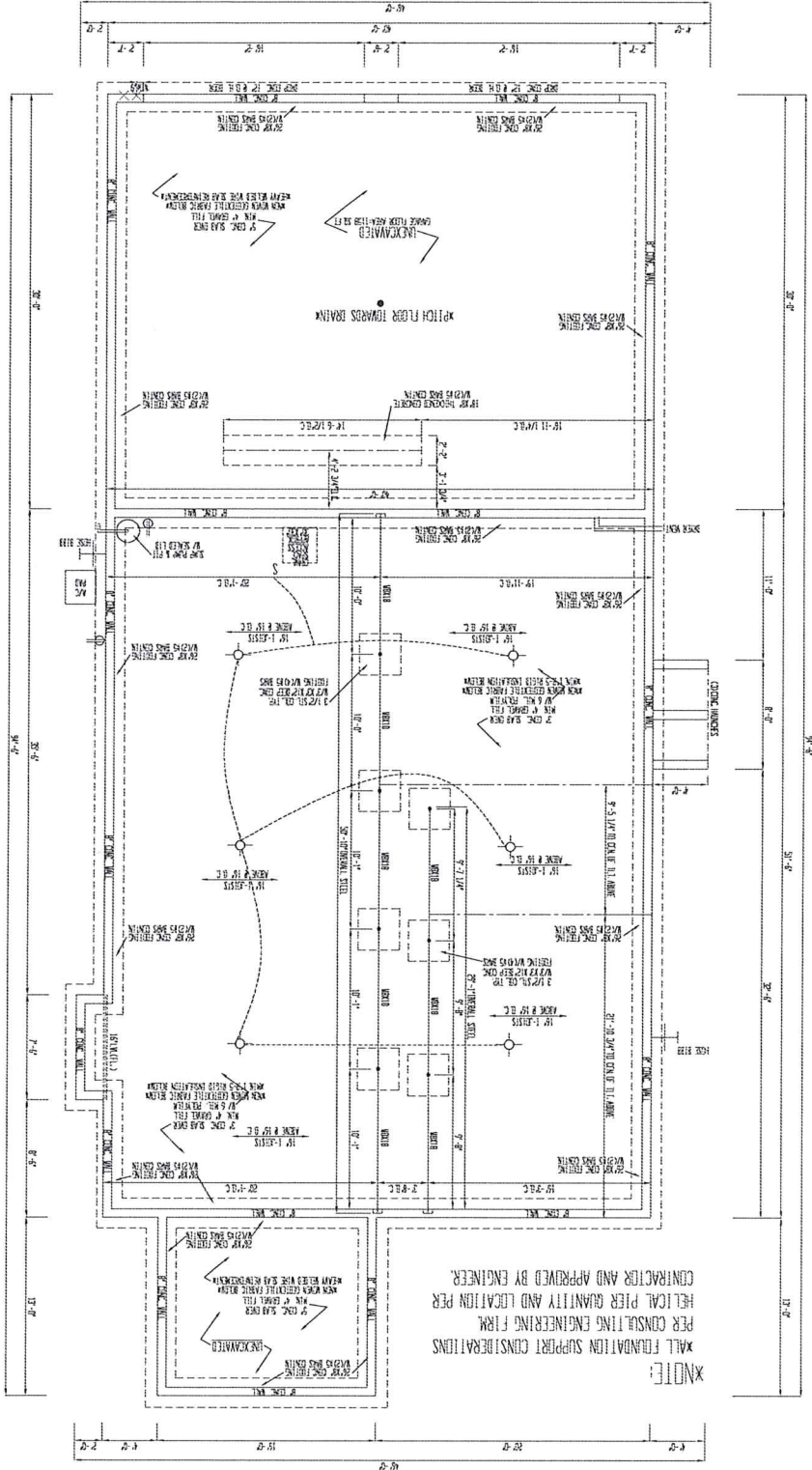
ISSUED BY: []
 DATE: []
 SCALE: 1/4\"/>

DRAWN BY: N.C.
 DATE: 03/07/21
 SCALE: 1/4" = 1'-0"
 SHEET: 3 OF 7

FOUNDATION PLAN & ELECTRIC PLAN
 WORKMAN FLOOR AREA: 1160 SQ. FT.

FOUNDATION PLAN & ELECTRIC PLAN

ALL FOUNDATION SUPPORT CONSULTATIONS PER CONSULTING ENGINEERING FIRM HELICAL PIER QUANTITY AND LOCATION PER CONTRACTOR AND APPROVED BY ENGINEER.



NOTE:
 ALL FOUNDATION SUPPORT CONSULTATIONS PER CONSULTING ENGINEERING FIRM HELICAL PIER QUANTITY AND LOCATION PER CONTRACTOR AND APPROVED BY ENGINEER.

RECEIVED

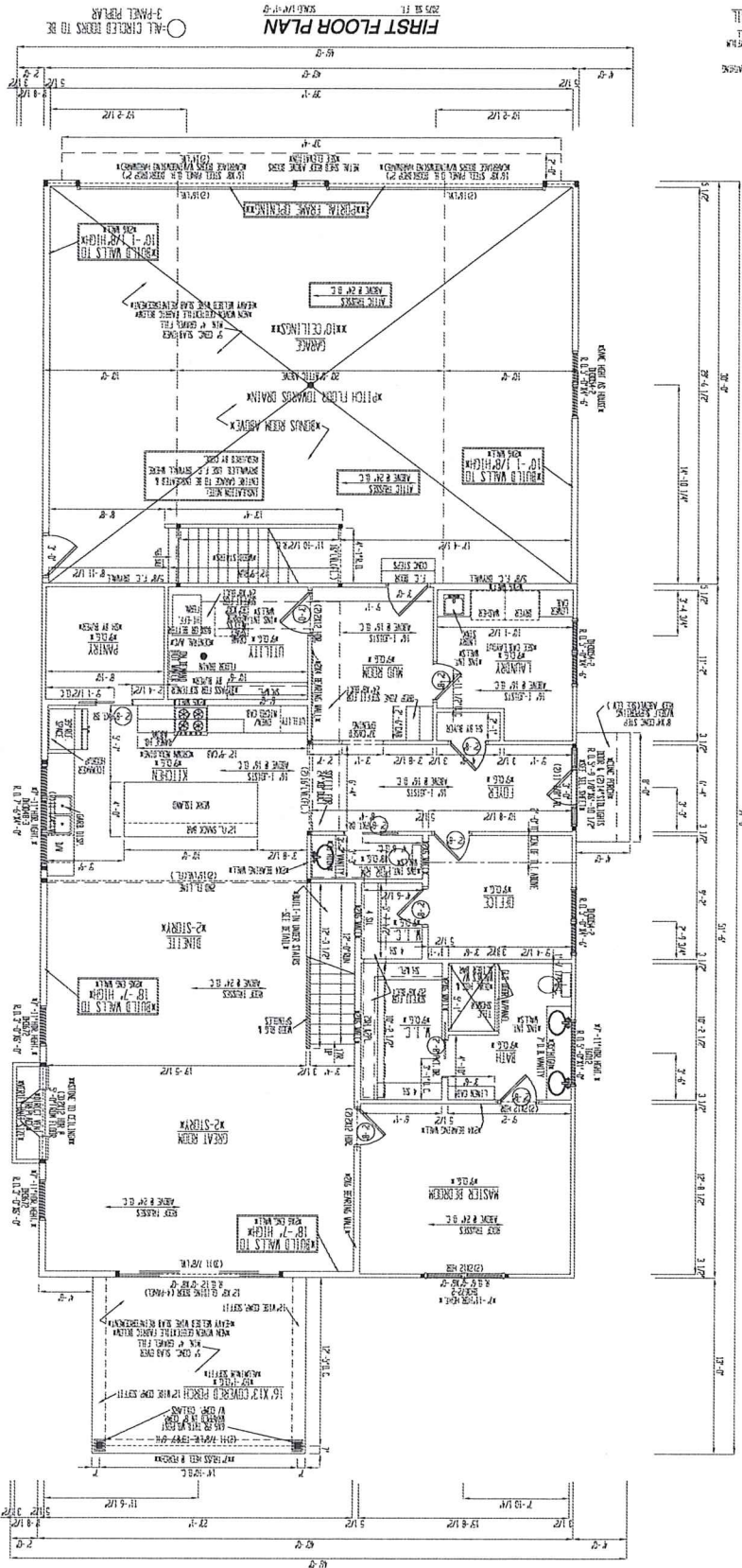
APR 19 2021

RACINE COUNTY

SCALE:	1/4" = 1'-0"
DATE:	
N.O.:	
DRAWN BY:	
SHEET:	4

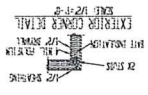
3-PANEL PERLAR
 EXTERIOR CORNER DETAIL
 PART POSITION
 1/2" SENSING

EXTERIOR 1-WALL DETAIL
 PART POSITION
 1/2" SENSING



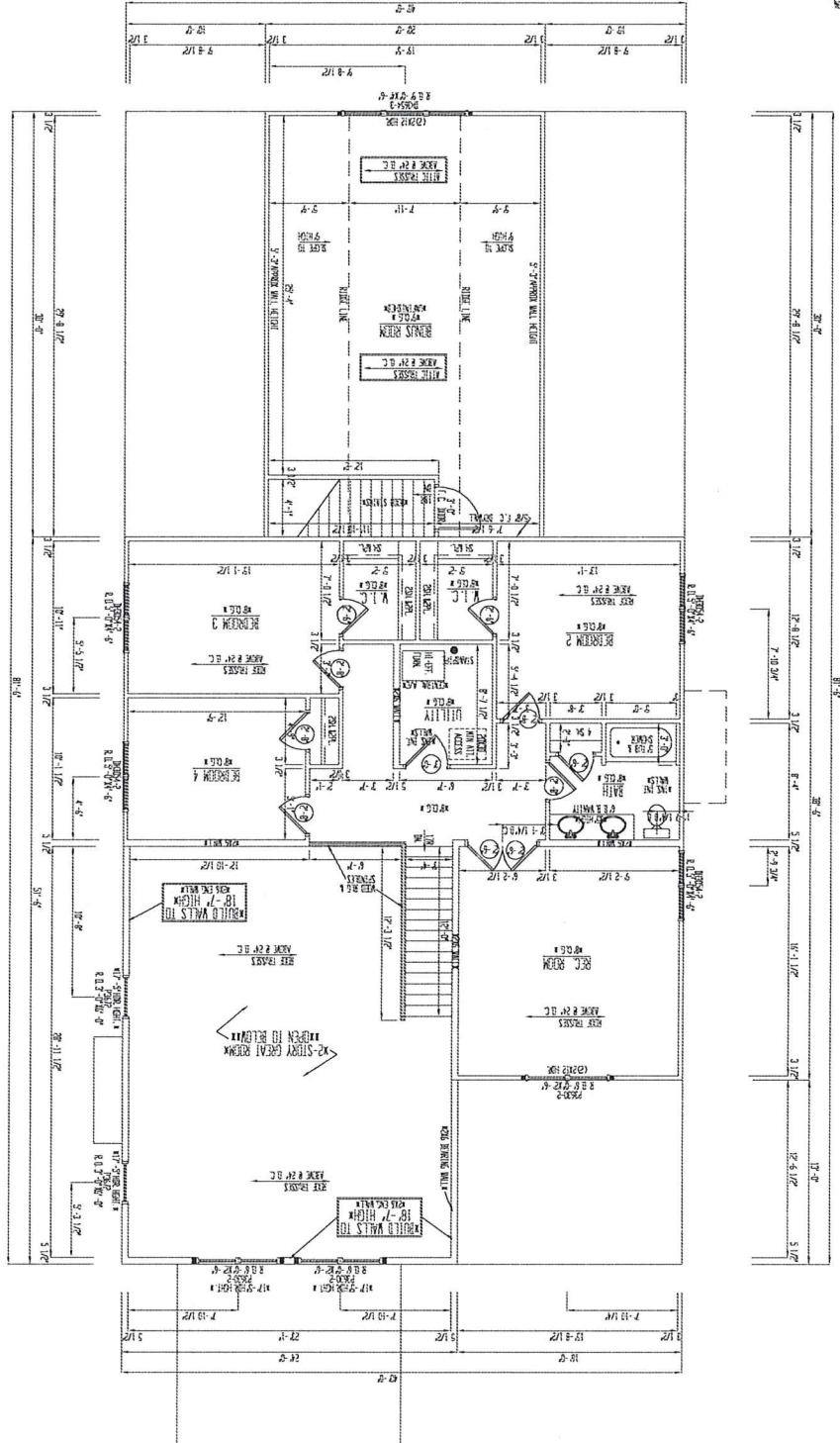
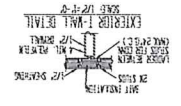
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SCALE:	1/4" = 1'-0"
DATE:	
N.O.:	
DRAWN BY:	DS
SHEET:	7



○ ALL CIRCLED DEGREE TO BE 3-PANEL REPAIR

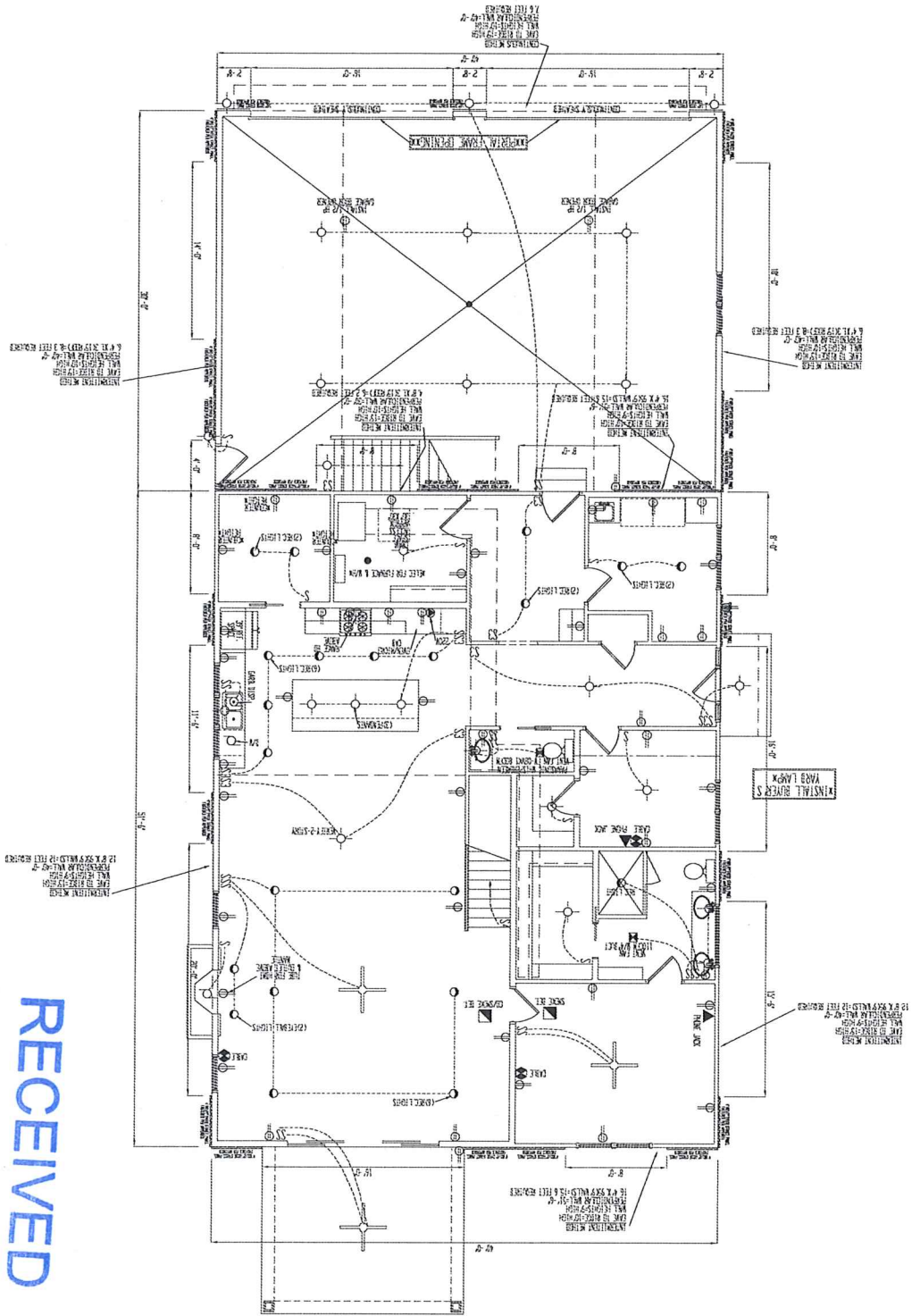
SECOND FLOOR PLAN



VECTOR WINDOWS
 HOUSEWRAP ENTIRE BUILDING

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FIRST FLOOR WALL BRACING & ELECTRICAL LAYOUT
 SCALE: 1/4"=1'-0"



RACINE COUNTY

APR 19 2021

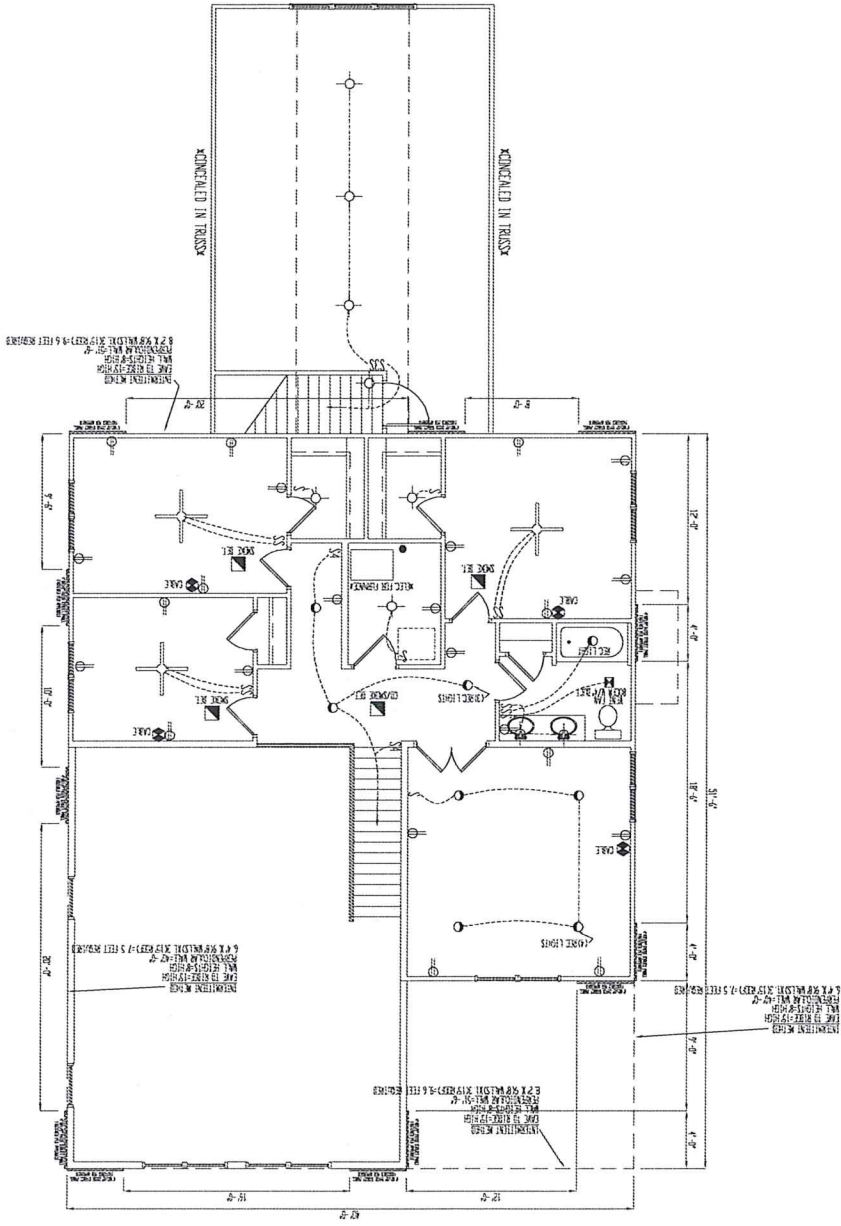
RECEIVED

BRACING NOTES:
 1. LOCATION OF BRACE PANTS AND BAR BOLTS
 AS SHOWN AT THE MANUFACTURER'S INSTRUCTIONS

ELECTRICAL NOTES:
 1. REFER TO THE BRACING PLAN FOR THE PLAN IS
 TO BE USED FOR BRACING PURPOSES AND
 AS A GUIDE FOR ELECTRICAL WORK IS
 TO BE CONSULTED FOR SIZE AND LOCATION

SUPPLY 200 AMP SERVICE

SECOND FLOOR WALL BRACING & ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0" X



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BRACING NOTES:
 1. INDICATES THE LOCATION OF WALL BRACING.
 2. ALL BRACING SHALL BE INSTALLED PER STATE AND LOCAL CODES.
 3. BRACING SHALL BE INSTALLED PER STATE AND LOCAL CODES.

ELECTRICAL NOTES:
 1. ALL ELECTRICAL SYMBOLS ARE SHOWN IN THE PLAN.
 2. SEE THE ELECTRICAL SPECIFICATIONS FOR THE LAYOUT.
 3. SEE THE ELECTRICAL SPECIFICATIONS FOR THE LAYOUT.

SUPPLY 200 AMP SERVICE

