

APPLICATION FOR ZONING PERMIT

RACINE COUNTY, WISCONSIN (Rev. 11/20)

PERMIT NO. _____

DATE PERMIT ISSUED _____

PUBLIC HEARING #1

OWNER MIKE IVERSON & Valerie Iverson
Mailing Address 8412 Fox River Road
Waterford WI 53185
City State Zip
Phone (H) _____ (W) 414-

APPLICANT STEVE SHARPE
Mailing Address 5140 S. LOOMIS RD.
Waterford, WI 53185
City State Zip
Phone (H) _____ (W) 414-809-4000

Parcel Id. # 0160419 01 030 001 Site Address 8006 BIG BEND ROAD
Municipality TOWN OF WATERFORD Section(s) 1 Town 4 North, Range 19 East
Lot - Block - Subdivision Name _____ CSM # _____

Proposed Construction/Use To construct additions to & renovations of an existing commercial building & occupy the ground floor of commercial building with a liquor/convenience store & to include second floor residential quarters.

		vestibule	stairs	Storage/balcony
New	Principal Bldg. <input checked="" type="checkbox"/>	Size (<u>6'</u> x <u>8'</u>)	(<u>4'5"</u> x <u>22'</u>)	(<u>6'</u> x <u>8'</u>)
Addition	Accessory <input checked="" type="checkbox"/>	Area (sq ft) (<u>48ft²</u>)	(<u>97.16ft²</u>)	(<u>48ft²</u>)
Alteration	Deck <input checked="" type="checkbox"/>	# of Units/Stories <u>1</u>	Building Ht.-Avg. (ft.) <u>22</u>	
Conversion	Sign _____	Peak Ht. (ft.) _____	100-Yr. Floodplain Elev. <u>N/A</u>	
Temporary	Other _____	Eave Ht. (ft.) _____	Flood Protection Elev. <u>N/A</u>	

Contractor Owner Est. Value w/Labor \$ 15,000⁰⁰ ZONING DISTRICT B-3

Existing Nonconforming?	N/A	* Yes <input checked="" type="checkbox"/> No _____	Yard Setbacks	Proposed	OK?
*Structure's Fair Mkt Value \$	<u>N/A</u>	Cumulative % _____	Street-1 st (existing)	<u>9'4"</u>	<u>yes</u>
*>50% of Fair Market Value?	<u>N/A</u> <input checked="" type="checkbox"/>	Yes _____ No _____	Street-2 nd (existing)	<u>15'7"</u>	<u>yes</u>
Structure in Shoreland? (per map)	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	Side-1 st (proposed)	<u>14'</u>	<u>yes</u>
Structure in Floodplain? (per map)	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	Side-2 nd	_____	<u>yes</u>
Structure in Wetland? (per map)	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	Rear (proposed)	<u>14'</u>	<u>yes</u>
Substandard Lot?	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	Shore	_____	_____
Abutting Lot-Same Owner/Closely Related?	Yes <input checked="" type="checkbox"/> No _____	Yes <input checked="" type="checkbox"/> No _____	Total Acc. Structures	_____	_____
BOA Variance Needed?	Yes _____ No <input checked="" type="checkbox"/>	Yes <input checked="" type="checkbox"/> No _____	Date of Approval	_____	_____
Conditional Use Site Plan Needed?	Yes <input checked="" type="checkbox"/> No _____	Yes <input checked="" type="checkbox"/> No _____	Date of Approval	_____	_____
Shoreland Contract Needed?	Yes _____ No <input checked="" type="checkbox"/>	Yes _____ No <input checked="" type="checkbox"/>	Date of Approval	_____	_____

Additional Zoning Permit Stipulations Listed on Back of this Form? Yes _____ No (If "Yes," see back)

The applicant hereby acknowledges receipt of notice contained herein and certifies that submitted information/ attachments are true and correct to the best of the knowledge and belief of the signer, and that all construction/ use will be done in accordance with the Zoning Ordinance, applicable stipulations, and Wisconsin laws.

BOA/Conditional Use Site Plan Pd: \$ 475⁰⁰
Cash/Check/CC Date # 1037

Steve Sharpe 1-18-2021
Signature of Owner/Applicant Date

Shoreland Contract Fee Pd: \$ _____
Cash/Check/CC Date # _____

STEVE SHARPE
Print Name(s)

Zoning Permit Fee Pd: \$ 170⁰⁰
Cash/Check/CC Date # _____

Notes (revisions, extensions, etc.) _____

Other: IAN 18 2021 Pd: \$ _____

if shoreland erosion review fee is included above Zoning Administrator (Staff Initials)

RACINE COUNTY

Make checks payable to "Racine County Development Services" - Note: ALL FEES ARE NONREFUNDABLE (OVER

PN 0160419 - 01 - 030 001

CONDITIONAL USE / SITE PLAN REVIEW APPLICATION Valerie Iverson Racine County, Wisconsin

Owner: MR. MIKE IVERSON - Michael & Valerie Iverson

Applicant/Agent: STEVEN R. SHARPE

Town: WATERFORD

Zoning district(s): B-7

TO THE RACINE COUNTY ECONOMIC DEVELOPMENT & LAND USE PLANNING COMMITTEE:

The undersigned requests a conditional use / site plan review permit to (specify use, project, structure, size, etc.)
To construct additions to & renovations of an existing commercial building & occupy the ground floor of commercial building with a liquor/convenience store & to include second floor residential quarters.

AT (site address): 8006 BIG BEND ROAD

Subdivision: _____ Lot(s): _____ Block: _____

Parcel # D10041901070001 Section(s) 1 T 4 N R 19 E

If served by municipal sewer, check here: Sanitary permit #: _____

- Attached are:
- zoning permit application
 - 12 SETS: drawn-to-scale site plan that is based on a survey (10 of the 12 should be sized or folded to 8.5" x 11")
 - letter of agent status
 - hearing/review fee (Fees are non-refundable, & republication/amendment fees will be charged where applicable.)
 - 3 SETS: landscaping/lighting plan
 - 12 SETS: report/cover letter & operations plan
 - abutting property owners' names & mailing addresses
 - other

print name: STEVEN R. SHARPE

e-mail address: ssharp187@gmail.com

address: 5110 S. LOOMIS ROAD
WATERFORD WI. 53185

telephone #: 414-807-4000

signed: Steve Sharpe

STAFF USE ONLY:
BASED ON CURRENT MAPPING, check applicable statement(s) below & underline or circle the word "all" or "partially".

<u>N/A</u>	The property is	all / partially	located in the	<u>N/A</u>	shoreland area.
<input type="checkbox"/>	The project is	all / partially	located in the	_____	shoreland area.
<input type="checkbox"/>	The property is	all / partially	located in the	_____	floodplain.
<input type="checkbox"/>	The project is	all / partially	located in the	_____	floodplain.
<input type="checkbox"/>	The property is	all / partially	located in the wetland.	_____	
<input checked="" type="checkbox"/>	The project is	all / partially	located in the wetland.	_____	

The applicant is subject to the following Racine County Ordinance provisions (specify article/section):

Art VI Div 8 B-7 Commercial service district & Sec 20-1739 Highway oriented use

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Shoreland contract: yes _____ no

Public hearing date: February 15, 2021

Site plan review meeting date: N/A

Submittal received by: SMR

Date petition filed: 1/11/2021

cash RACINE COUNTY 1037

amount received: \$ 475⁰⁰

design-build architect

December 27, 2020 Rev. 1-19-2021

Racine County Economic Development & Land Use Planning Committee

Re: Conditional Use and Site Plan Review

Dear Committee Members:

The owner of the vacant building located at 8006 Big Bend Road is ready to complete renovations and additions to the building for a mixed use occupancy with the grade level to be used for commercial retail space, and the second floor will become a single family two bedroom apartment.

Plans and specifications have been prepared and are ready for plan review, and building permit from the Town of Waterford once we hopefully receive an approval by the Committee.

The building has been vacant for a few years, and previous attempts for conditional uses have been applied for but never carried out or approved as requested.

The commercial space would probably have two employees per shift, and be open from 9:00am to 10:00 pm Monday thru Saturday, and 9:00am to 5:00 pm on Sunday.

The commercial space has an interested tenant for a liquor store, *OR CONVENIENCE STORE*

The single-family residence would most likely be occupied by a family of three, two unmarried professionals, or whomever.

If the conditional use is approved we would expect completion of the project scope of work by June of 2021.

Sincerely,

Steven Robert Sharpe

Encl:

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JAN 20 2021

RACINE COUNTY


STEVEN ROBERT SHARPE ARCHITECT, ALA
5110 S. LOOMIS ROAD, WATERFORD, WI. 53185
Ph. 262-534-3886 Cell 414-807-4000

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JAN 11 2021

RACINE COUNTY

S. T. H. "164"

E. LINE SW 1/4 SEC. 1-4-19

STEVEN ROBERT SHARPE
ARCHITECT
5110 S. Loomis Road
Waterford, Wisconsin 53185
Ph. (262) 534-3886 fax & message
Cell Ph. (414) 807-4000

Liquor Store & Apartment
8006 N. Big Bend Road
Waterford, Wisconsin 53185

Drawn: PAK

Checked: SES

PARKING

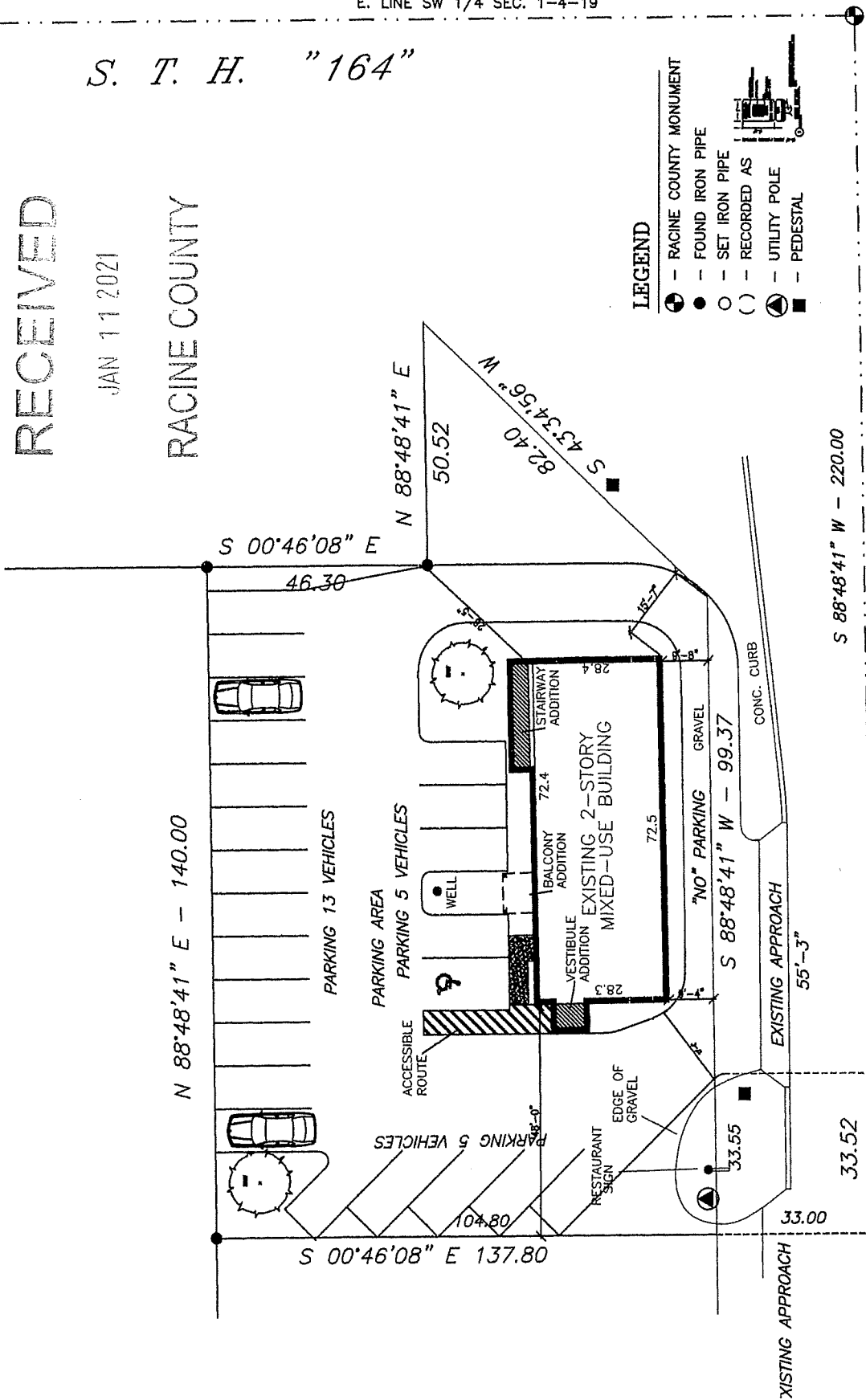
Date: 07/2000

Revisions:	
10-10-2000	

Project No.
1906985

Sheet No.

G-1
of 1



- LEGEND**
- - RACINE COUNTY MONUMENT
 - - FOUND IRON PIPE
 - - SET IRON PIPE
 - () - RECORDED AS
 - ⊙ - UTILITY POLE
 - - PEDESTAL

SOUTH 1/4 CORNER
SECTION 1-4-19



SITE PLAN
SCALE 1" = 10'-0"

15,942 Sq. Ft.
Excluding Right-of-Way

NORTH LAKE DRIVE

S. LINE SW 1/4 SEC. 1-4-19

S 88°48'41" W - 220.00

S 88°48'41" W

EXISTING APPROACH

EXISTING APPROACH

"NO" PARKING GRAVEL

CONC. CURB

EXISTING 2-STORY MIXED-USE BUILDING

STAIRWAY ADDITION

BALCONY ADDITION

VESTIBULE ADDITION

WELL

PARKING AREA

PARKING 13 VEHICLES

PARKING 5 VEHICLES

PARKING 5 VEHICLES

RESTAURANT SIGN

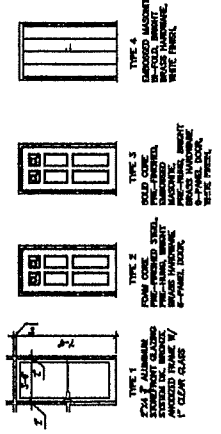
EDGE OF GRAVEL

ACCESSIBLE ROUTE

SYM	SIZE	MATERIAL	TYPE	HARDWARE	HEADER	NOTES
1	3000 1-3/4" x 30 1/4"	STEEL WHEAL	2	NETED SUPPLY	CO2012	GLASS UPPER PANELS
2	3000 1-3/4" x 30 1/4"	STEEL WHEAL	2	NETED SUPPLY	CO2012	GLASS UPPER PANELS
3	2000 1-3/4" x 30 1/4"	STEEL WHEAL	2	NETED SUPPLY	CO2012	GLASS UPPER PANELS
4	2000 1-3/4" x 30 1/4"	STEEL WHEAL	2	NETED SUPPLY	CO2012	GLASS UPPER PANELS
5	2000 1-3/4" x 30 1/4"	STEEL WHEAL	2	NETED SUPPLY	CO2012	GLASS UPPER PANELS
6	4000 8'-0" x 7'-0"	ALUMINUM	1	PUSH-PULL	CO 2006	CLOSER & HANDLE WITH LOCK
7	4000 8'-0" x 7'-0"	ALUMINUM	1	PUSH-PULL	CO 2006	CLOSER & HANDLE WITH LOCK
8	4000 8'-0" x 7'-0"	ALUMINUM	1	PUSH-PULL	CO 2006	CLOSER & HANDLE WITH LOCK
9	4000 8'-0" x 7'-0"	ALUMINUM	1	PUSH-PULL	CO 2006	CLOSER & HANDLE WITH LOCK
10	4000 8'-0" x 7'-0"	ALUMINUM	1	PUSH-PULL	CO 2006	CLOSER & HANDLE WITH LOCK
11	3000 1-3/4" x 30 1/4"	STEEL WHEAL	2	NETED SUPPLY	CO2012	GLASS UPPER PANELS

NOTE: INTERIOR ALL DOORS TO HAVE LEVER STYLE HANDLES

DOOR TYPES



WINDOW TYPE



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 PRACINE COUNTY

Drawing Key

- Existing Walls to Remain
- Existing Wall to be Removed
- New Wood Stud Wall
- New Doors
- Existing Doors

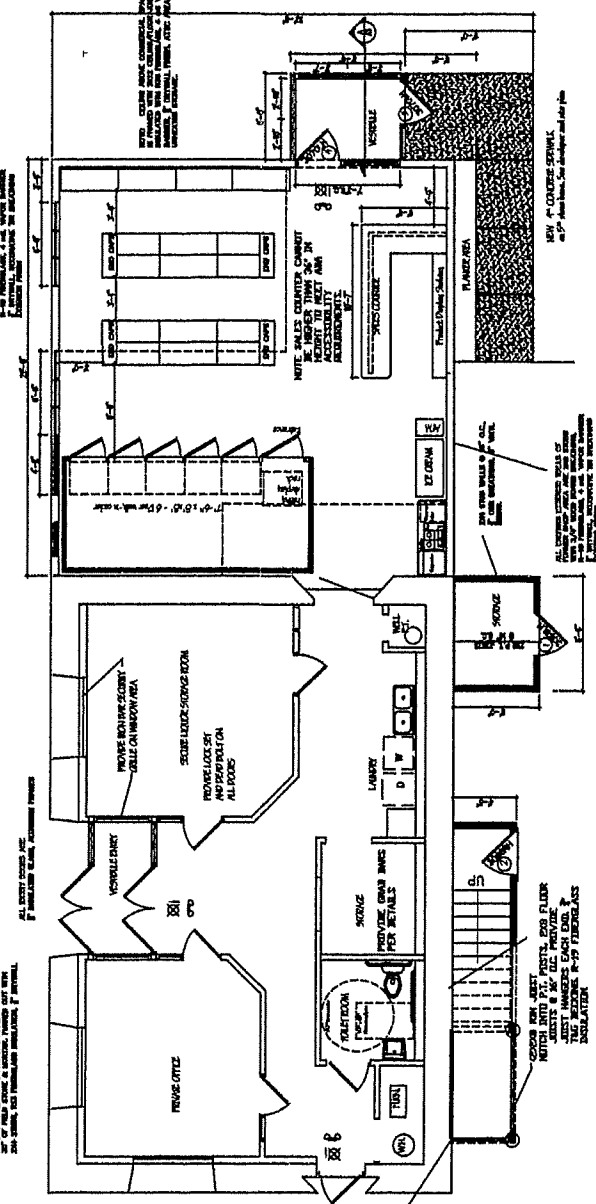
RELEASED FOR CONSTRUCTION
 RELEASED FOR BIDS

Building Data

BUILDING IS A MIXED USE COMMERCIAL BUSINESS/RESIDENTIAL OCCUPANCIES. TWO TOBACCO OCCUPANT LOAD IS LESS THAN 40 PERSONS. SEE 10043.2(a) ONE EXIT REQUIRED. TWO EXITS BUILDING TYPE OF CONSTRUCTION IS V8. NON-SPRINKLED BUILDING. BDC-LEVEL 2 ALTERATION - COST \$4,000

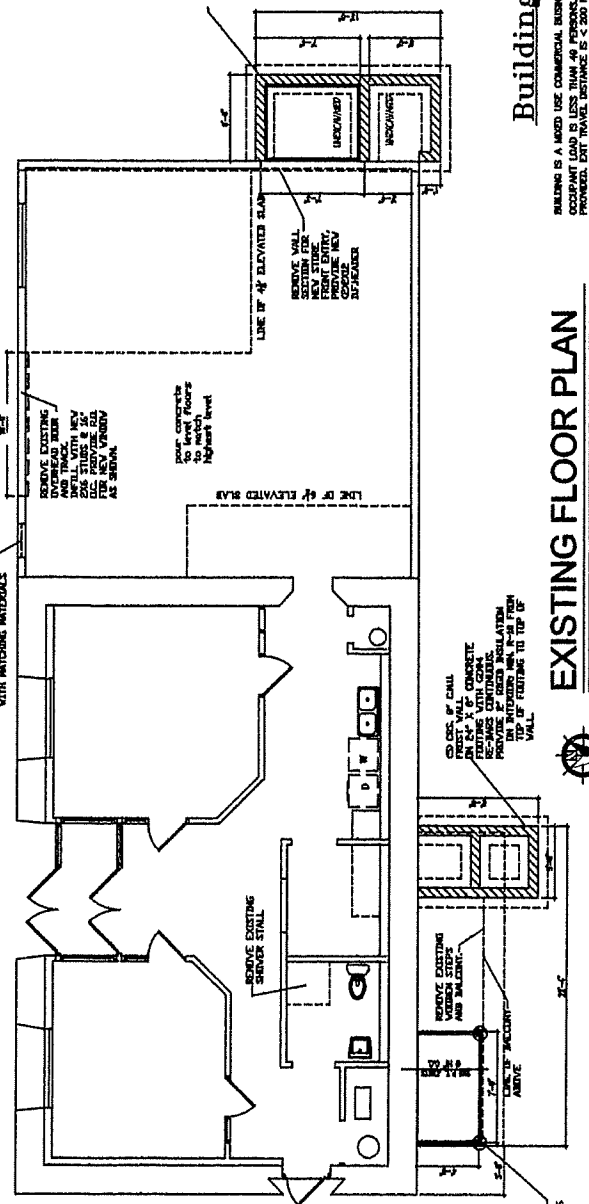
EXISTING FLOOR PLAN

SCALE = 1/4" = 1'-0" PROPOSED FOUNDATIONS



PROPOSED FLOOR PLAN

SCALE = 1/4" = 1'-0"



1/2" DIAMETER X 40' CORNER PIER WITH 3" SQUARE PILING

STEVEN ROBERT SHARPE
 ARCHITECT
 5110 S. LOOMIS ROAD
 WATERFORD, WISCONSIN 53185
 Ph. (262) 534-3886 message & fax
 Cell Ph. (414) 807-4000

Building Alteration Plan
 Change of Use "B" to "M"
 8006 Big Bend Road
 Waterford, Wisconsin 53185

Drawn: SSS
 Checked: SSS
 Date: 12-14-2020

Revisions:

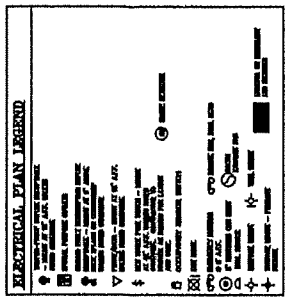
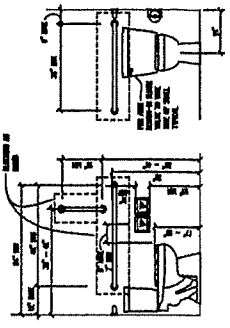
NO	20 JAN 20
01	20 DEC 20

Project No.
 1906985
 Sheet No.
 A2
 Of 4 Sheets

LIGHT/VENT SCHEDULE

ROOM	AREA	RETD	ACTUAL	RETD	ACTUAL	VERT SF
BEDROOM #1	140	11.2	18.64	5.6	9.32	
BEDROOM #2	144	11.52	18.64	5.6	9.32	
LIVING ROOM	212	16.96			8.48	

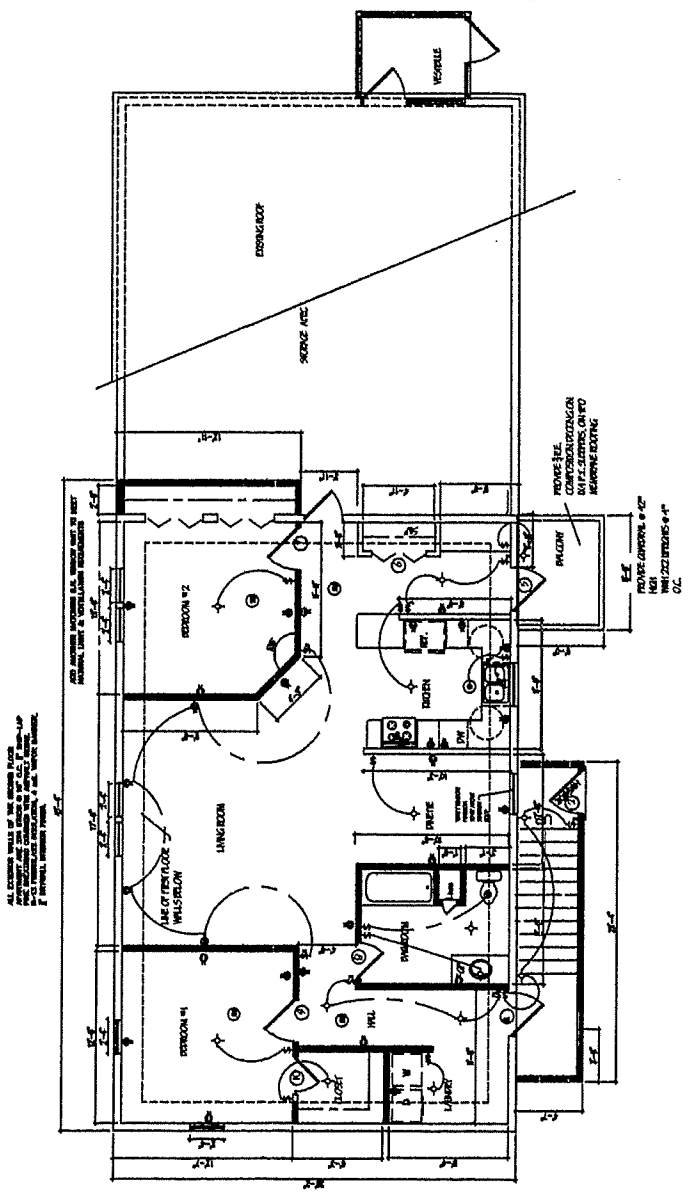
NOTE: ALL WINDOW UNITS HAVE SCREENED OPERABLE
 SHUTTERS. ALL WINDOW UNITS HAVE SCREENS OPERABLE
 UP 20" X 24" CLEAR IN EITHER DIRECTION.



Drawing Key

- Empty Wall to Be Replaced
- Existing Wall to Be Replaced
- New Wall to Be Added
- New Door
- Existing Door

RELEASED FOR CONSTRUCTION
 RELEASED FOR BIDS



PROPOSED APT. PLAN
 SCALE = 1/2" = 1'-0" 1,234 SF

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH	REMARKS
CUSTOMER WAITING	CT	CS/P	ACT	10'-0"
PHARMACY	CT	CS/P	ACT	10'-0"
UNisex TOILET RM	CT	CS/P	ACT	6'-0"
BASEMENT	EP/PT	V	PAINTED	EXST. 6'-0"

ABBREVIATIONS:

- ACT - ACTUAL
- CS/P - CONCRETE/STUCCO
- CT - CONCRETE
- EP/PT - EXPOSED REINFORCED PLASTER
- EX - EXISTING
- FIN - FINISH
- PAINTED - PAINTED
- V - VENEER

NOTES:

- REMOVE EX. CONCRETE/STUCCO ON F.L. SURF. ON 10' W/22" BROWNS 6" O.C.
- REMOVE EX. CONCRETE/STUCCO ON F.L. SURF. ON 10' W/22" BROWNS 6" O.C.

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 JAN 11 2021
 RACINE COUNTY

STEVEN ROBERT SHARPE
 ARCHITECT
 5110 S. LOOMIS ROAD
 WATERFORD, WISCONSIN 53185
 Ph. (262) 534-3886 message & fax
 Cell Ph. (414) 807-4000

Building Alteration Plan
 Change of Use "B" to "M"
 8006 Big Bend Road
 Waterford, Wisconsin 53185

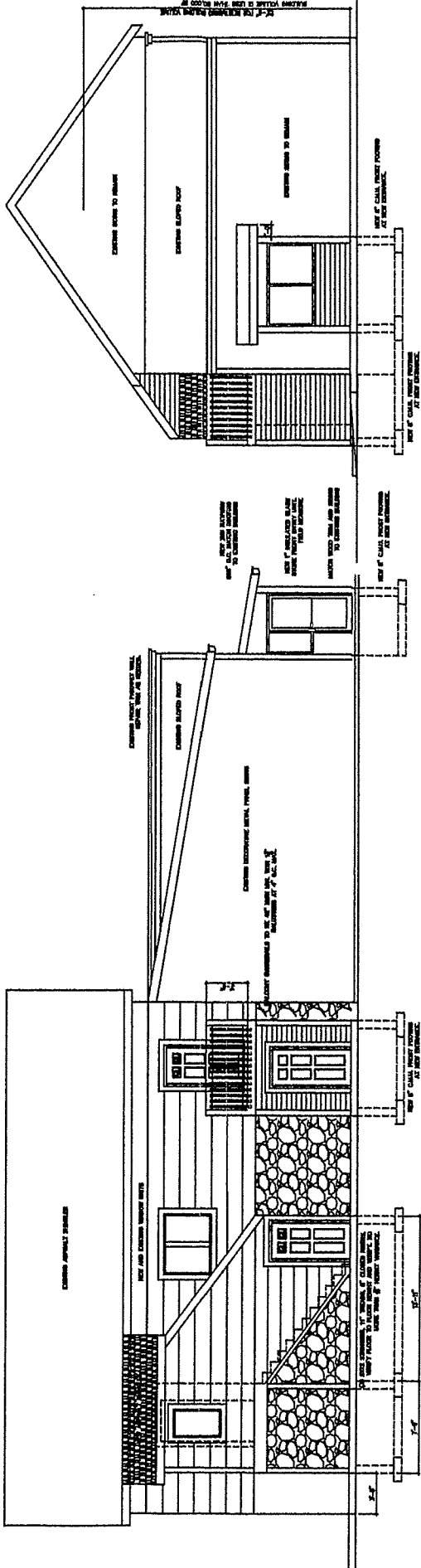
Drawn: SSS
 Checked: SSS

Date: 26 JUNE 79

Revisions:	Date
	26 JULY 79
	26 OCT. 79

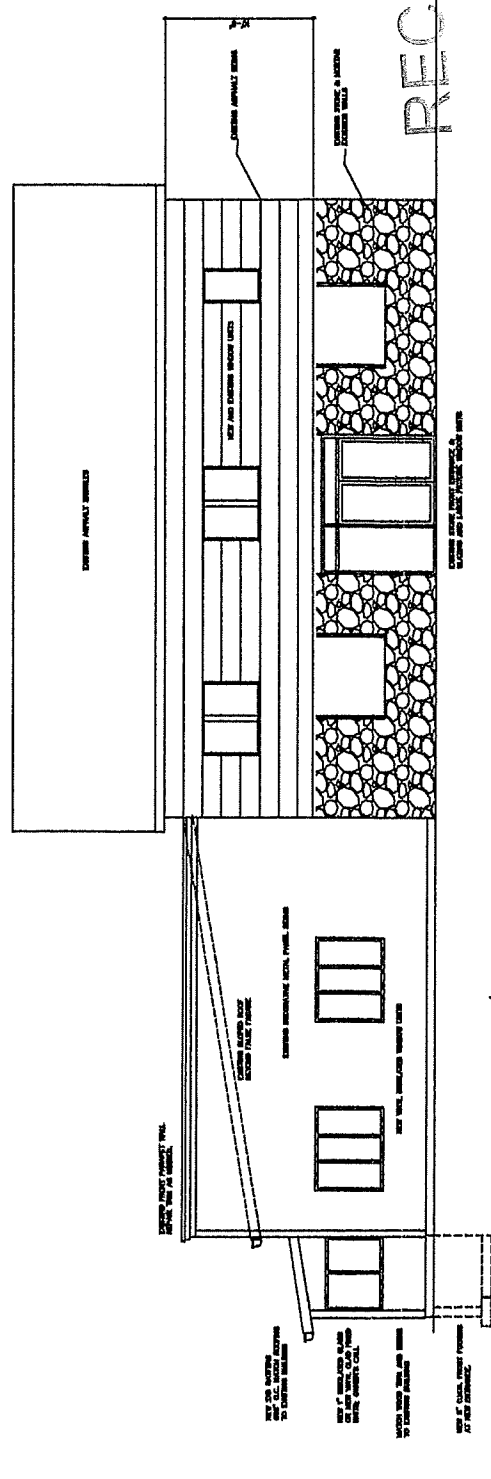
Project No.
 1906985

Sheet No.
 A3
 Of 4 Sheets



LEFT (west) ELEVATION
 SCALE = 1/4" = 1'-0"

REAR (north) ELEVATION
 SCALE = 1/4" = 1'-0"



FRONT (south) ELEVATION
 SCALE = 1/4" = 1'-0"

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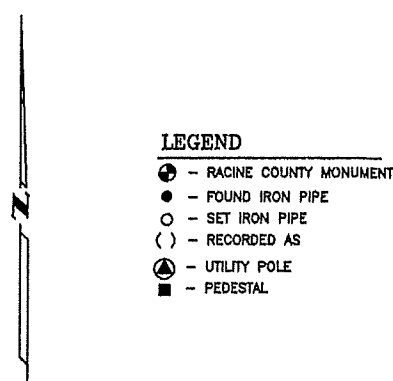
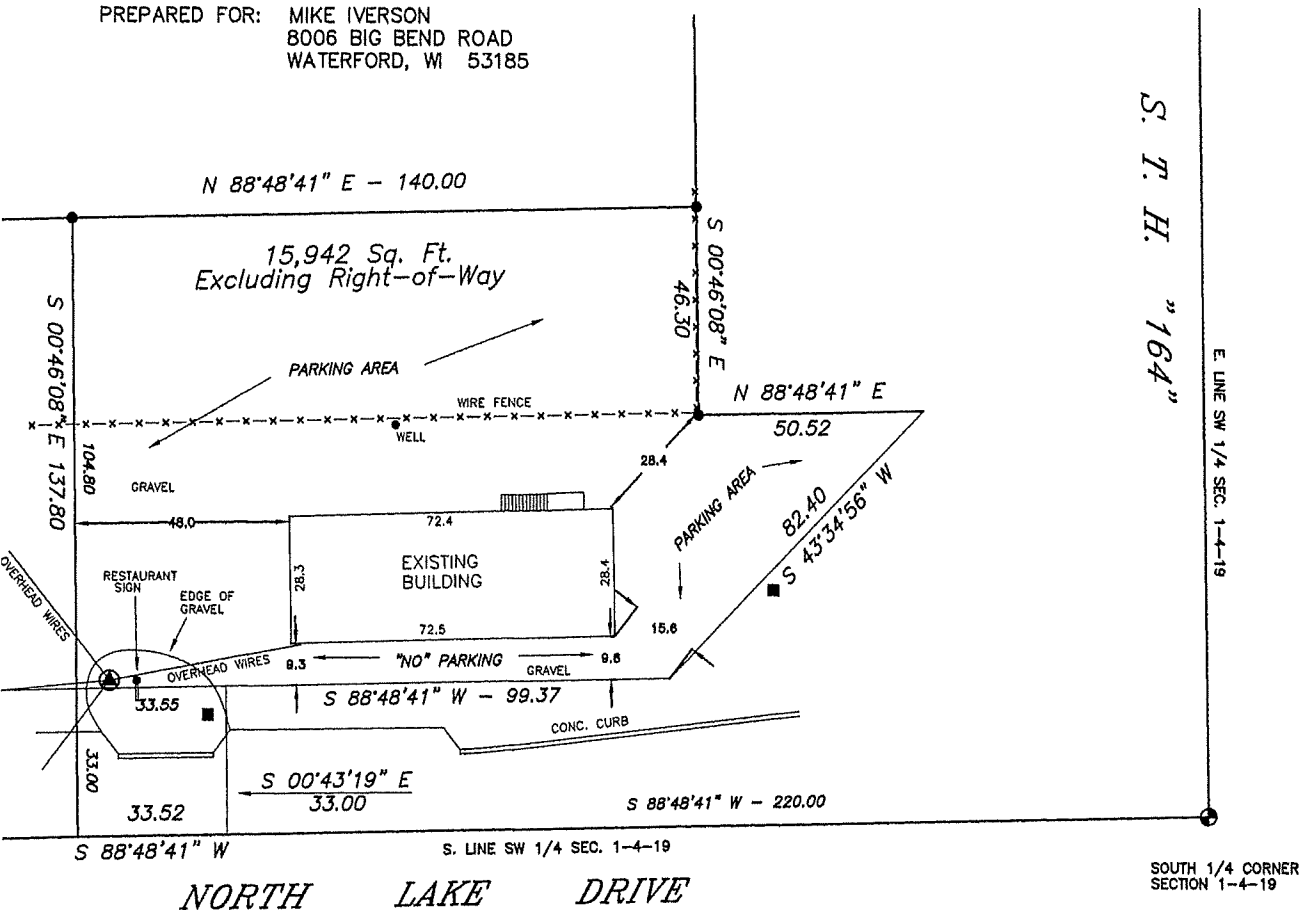
100 SOUTH SECOND STREET
WATERFORD, WISCONSIN 53185
(262)534-5404 (FAX)534-2022

SITE PLAN

PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 4 NORTH, RANGE 19 EAST, TOWN OF WATERFORD, RACINE COUNTY, WISCONSIN AND DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 1; THENCE S 88°48'41" W ALONG THE SOUTH LINE OF SAID 1/4 SECTION, 220.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 88°48'41" W ALONG SAID LINE, 33.52 FEET; THENCE N 00°46'08" W, 137.80 FEET; THENCE N 88°48'41" E, 140.00 FEET; THENCE S 00°46'08" E, 46.30 FEET; THENCE N 88°48'41" E, 50.52 FEET; THENCE S 43°34'56" W, 82.40 FEET; THENCE S 88°48'41" W, 99.37 FEET; THENCE S 00°43'19" E, 33.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE SOUTH 33 FEET THEREOF FOR HIGHWAY PURPOSES. CONTAINING 15,942 SQUARE FEET OF LAND EXCLUDING RIGHT-OF-WAY.

* REFER TO A CURRENT TITLE REPORT FOR EASEMENTS, RESTRICTIONS OR COVENANTS OF RECORD THAT MAY AFFECT THIS LAND. *

PREPARED FOR: MIKE IVERSON
8006 BIG BEND ROAD
WATERFORD, WI 53185



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JAN 14 2021

RACINE COUNTY