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ARCHITECTURAL DESIGN BY:



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INTERIOR COURTROOM RENOVATION FOR: RACINE COUNTY LAW ENFORCEMENT CENTER

717 WISCONSIN AVE ♦ RACINE, WI 53403

APPLICABLE CODES

ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:

BUILDING CODE:
 - 2015 INTERNATIONAL BUILDING CODE (IBC) w/ WISCONSIN AMENDMENTS SPS 362
 - 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) w/ WISCONSIN AMENDMENTS SPS 366

ACCESSIBILITY CODE:
 - 2015 INTERNATIONAL BUILDING CODE (IBC) w/ WISCONSIN AMENDMENTS SPS 362
 - 2009 ICC/ANSI A117 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

ENERGY CODE:
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) w/ WISCONSIN AMENDMENTS SPS 364

- GOVERNING LOCAL AND MUNICIPAL CODES

GENERAL NOTES

1. THE FOLLOWING GENERAL AND SPECIFIC NOTES SHALL APPLY EQUALLY TO ALL CONTRACTORS AND SUPPLIERS ENGAGED IN EXECUTION OF THE WORK SHOWN ON THESE PLANS. THESE NOTES SUPPLEMENT AND ARE MADE A PART OF THE ENTIRE CONTRACT DOCUMENTS.
2. ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:
 - PLANS AND SPECIFICATIONS
 - STATE OF WISCONSIN DNR
 - OSHA AND EPA REQUIREMENTS

CONCRETE CONSTRUCTION:
 - AMERICAN CONCRETE INSTITUTE STRUCTURAL AND MISCELLANEOUS STEEL WORK
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION, CODE OF STANDARD PRACTICE

STEEL JOISTS AND ACCESSORIES:
 - STEEL JOIST INSTITUTE

CONTRACTOR SHALL INSURE FAMILIARITY OF THE ABOVE ITEMS. ARCHITECT INSPECTIONS SHALL BE IN CONFORMANCE WITH THE ABOVE.
3. CONTRACTOR TO CROSS CHECK DIMENSIONS AND ELEVATIONS BETWEEN ARCHITECTURAL, MECHANICAL, AND STRUCTURAL PLANS. ARCHITECT TO BE NOTIFIED OF ANY VARIANCE BEFORE CONTRACTOR BEGINS WORK. ALL EQUIPMENT SUPPORTS & ANCHORAGES TO BE CROSS CHECKED WITH MANUFACTURER'S DRAWINGS. CONTRACTOR SHALL VERIFY ALL PROFILES, HEIGHTS, AND DIMENSIONS AT PROJECT PRIOR TO FABRICATION OF ANY MATERIAL AND REPORT THE ENGINEER OF ANY DISCREPANCIES OR FRAMING INTERFERENCES.
4. REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL PLANS FOR DETAILS OF CONSTRUCTION.
5. ALL OPENINGS FOR PLUMBING, ELECTRICAL, HVAC, OR FIRE PROTECTION CONDUIT, PIPING, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE. ALL TRADES SHALL TAKE CARE TO MAKE HOLES ONLY AS LARGE AS NECESSARY. ALL OPENINGS SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALL OR ROOF DECK.
6. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ARCHITECT. MECHANICAL TRADES MUST SUBMIT LAYOUTS OF ALL SLEEVES PASSING THROUGH STRUCTURAL MEMBERS FOR ARCHITECT'S APPROVAL.
7. ASSOCIATED TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OPENINGS LEFT UNREPAIRED AND WILL BE BACK CHARGED ACCORDINGLY FOR SUCH REPAIRS.
8. ALL OPENINGS OR PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE APPROPRIATELY FIRE STOPPED, DAMPERED, OR SEALED AS REG'D BY CODE.
9. ALL CONSTRUCTION MATERIALS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
10. SHOP DRAWINGS - SUBMIT MINIMUM OF FIVE (5) COPIES FOR APPROVAL ON ALL ITEMS OF EQUIPMENT FURNISHED AS A PART OF THIS PROJECT OR ONE (1) SET ELECTRONICALLY. ARCHITECT APPROVAL DOESN'T RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR CORRECTNESS, FIT, OR STRENGTH OF DETAILS. SHOP DRAWINGS MUST CLEARLY SHOW DETAILS FOR ACCURATE PLACING OF REINFORCING STEEL, STRUCTURAL STEEL, ETC. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO ARCHITECT. CONTRACTOR SHALL ALLOW MINIMUM OF ONE WEEK FOR REVIEW OF SHOP DRAWINGS.
11. WHERE SECTIONS OR NOTES ARE CALLED FOR IN A CERTAIN PORTION OF THE BUILDING, IT SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING, UNLESS NOTED OTHERWISE.
12. EACH CONTRACTOR IS TO OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS MAY BE REG'D FOR COMPLETION OF HIS PORTION OF THE PROJECT. EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS, AND ALL OTHERS AT THE SITE. EACH CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND REMOVAL OF ALL MATERIAL AS REG'D TO PERFORM HIS WORK.
13. ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION, REMODELING, OR EXCAVATION SHALL BE REMOVED AND/OR CONTAINED IN ACCORDANCE WITH ALL GOVERNING LOCAL, STATE, AND FEDERAL REGULATIONS. NOTIFY ARCHITECT, REMOVAL BY OWNER.
14. DO NOT SCALE DRAWINGS
15. ALL DIMENSIONS AND ELEVATIONS MUST BE VERIFIED BY CONTRACTOR TO CONFORM WITH THOSE SHOWN ON PLANS.
16. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE ARCHITECT.
17. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING, WORKMEN, AND OCCUPANTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE-DOWNS AS NECESSARY. ALL CONSTRUCTION AND ERECTION MUST CONFORM TO OSHA REG'D.
18. WHERE DETAILS ARE CALLED FOR IN ONE PORTION OF THE BUILDING, THEY SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING.
19. DESIGN DRAWINGS SHALL NOT BE USED AS SHOP DRAWINGS.
20. REMOVE AND REPLACE ALL EXISTING CONSTRUCTION (ELECTRICAL, MECHANICAL, HVAC, AND ARCHITECTURAL) AS REG'D IN ORDER TO PLACE NEW STRUCTURAL WORK SHOWN ON THESE DRAWINGS.
21. IN THE EVENT OF ANY CONFLICT BETWEEN PLANS, DETAILS, STRUCTURAL NOTES, AND SPECIFICATIONS, CONTRACTOR SHALL BRING THE CONFLICT TO THE ARCHITECT'S ATTENTION OR SHALL BID THE MOST EXPENSIVE ITEM.
22. NEW FIREWALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS SHOWN ON PLANS SHALL BE PERMANENTLY IDENTIFIED w/ STENCILING. SEE DETAIL ON SHEET 9 FOR SIZE AND SPACING.

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ARCHITECTURE

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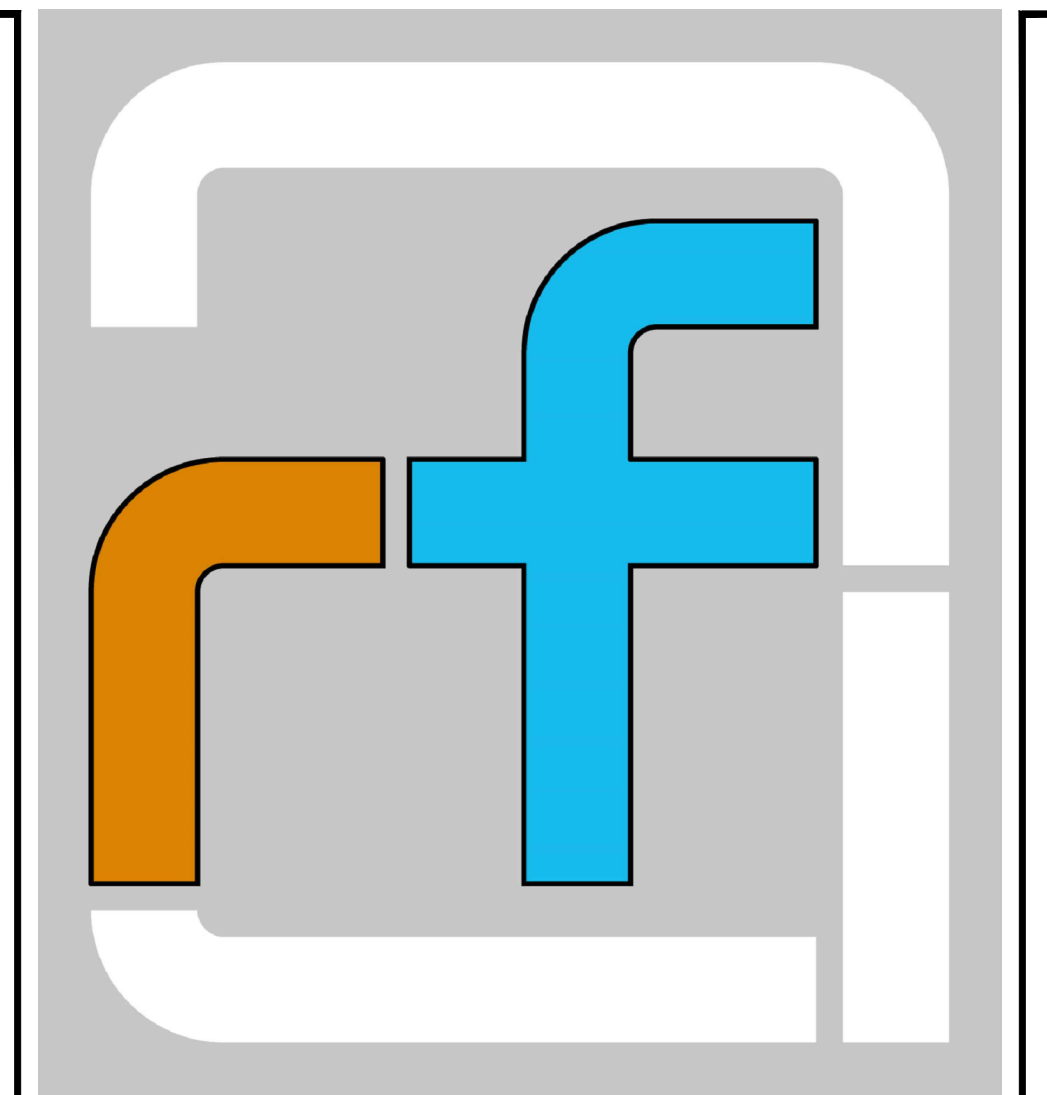
PROJECT INFO

MAJOR OCCUPANCY TYPE: A-3 Courtroom

WORK AREA :

Area A 1,730 s.f.
Area B 2,318 s.f.

SPRINKLER PROTECTION: None
CONSTRUCTION CLASS: Type IIB
ALTERATION LEVEL: 2



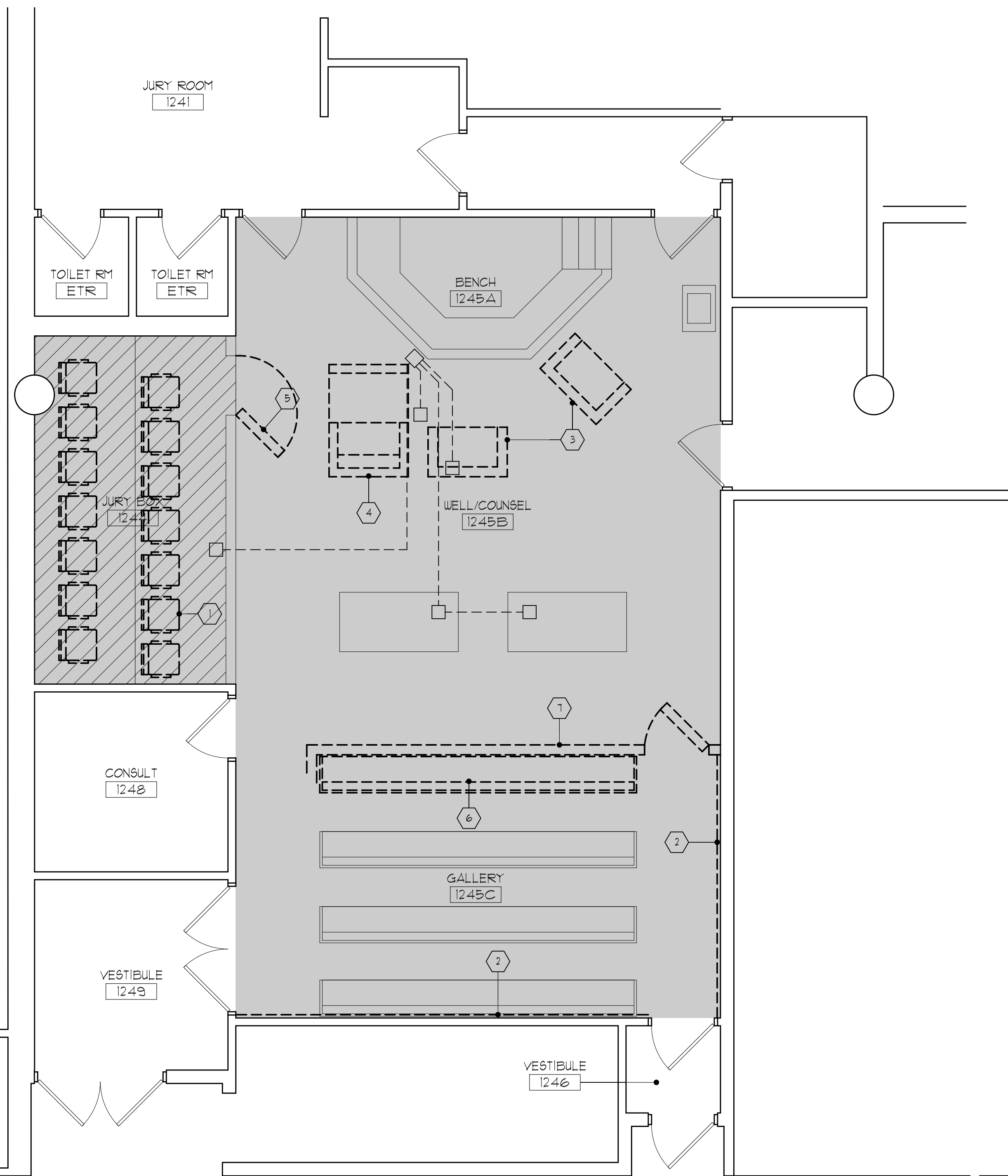
REVISIONS

DATE
OCT. 29, 2020

PROJECT NO.
21-19

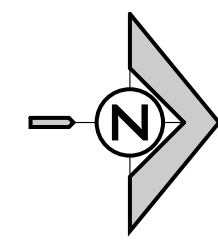
SHEET NO.
A1

LAW ENFORCEMENT CENTER - COURTROOM RENOVATIONS



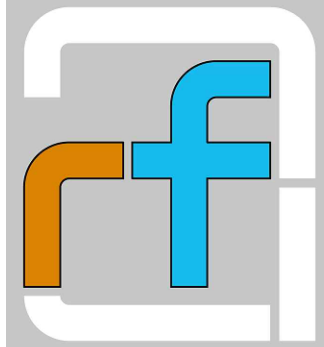
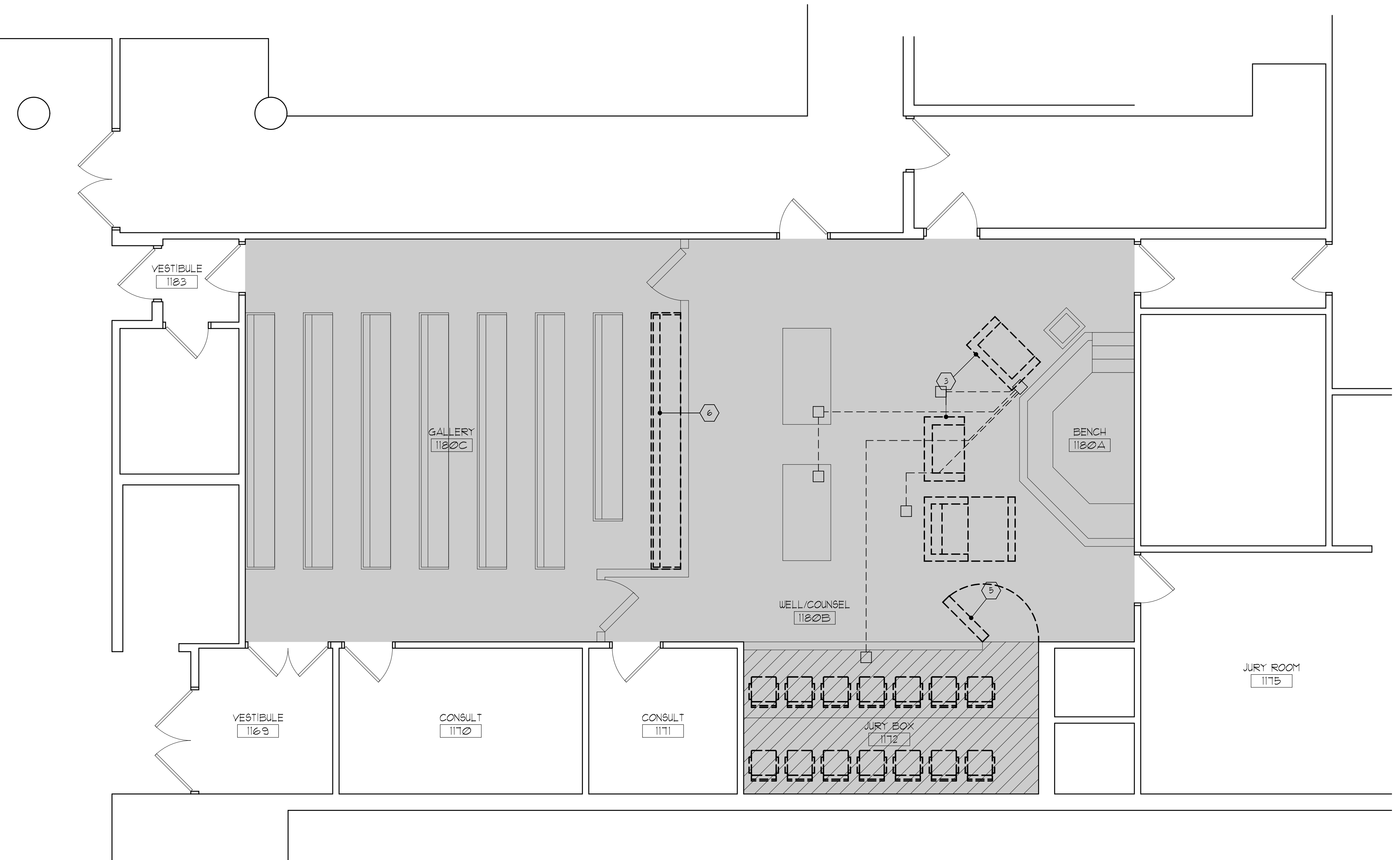
KEYED DEMOLITION NOTES (this sheet)

- REMOVE FLOORING, BASE, WALL COVERINGS, AND SUSPENDED CEILING FROM THIS AREA AS REQ'D FOR NEW CONSTRUCTION. SEE ROOM FINISH SCHEDULE.
- ▨ REMOVE FLOOR SUBSTRATE AS REQ'D FOR INSTALLATION OF NEW PLYWOOD FLOOR. SEE ALSO REMODELED FLOOR PLAN.
- ① REMOVE FLOOR MOUNTED CHAIRS AS REQ'D FOR NEW CONSTRUCTION. SALVAGE FOR RE-INSTALLATION.
- ② REMOVE EXISTING FRP AND CHAIR RAIL AS REQ'D FOR NEW CONSTRUCTION. SALVAGE CHAIR RAIL FOR RE-USE.
- ③ REMOVE WORKSTATIONS AS REQ'D. COORDINATE W/ OWNER.
- ④ EXISTING WITNESS STAND TO BE SALVAGED FOR REMODELING. SEE REMODELED PLAN.
- ⑤ REMOVE DOOR AND HARDWARE AS REQ'D.
- ⑥ EXISTING FEU TO BE REMOVED AND RELOCATED TO LOCATION AS DETERMINED BY OWNER.
- ⑦ EXISTING DWARF WALL TO BE REMOVED AS REQUIRED TO REFINISH AND RELOCATE. SEE ALSO REMODELED FLOOR PLAN.



EXISTING FIRST FLOOR / DEMOLITION PLAN

SCALE : 1/4" = 1'-0"



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SHEET NO.
A2



ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	MILLWORK		REMARKS
				NORTH	SOUTH	EAST	WEST		COUNTERTOP	FACES	
116B	VESTIBULE	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			
117B	CONSULT	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			
111	CONSULT	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			
112	JURY BOX	CARPET (C-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	---	ACOUSTICAL TILE (ACT-1) AT 9'-0" AFF. MAIN FLR.			NEW SUBFLOOR IN THIS AREA
117B	JURY ROOM	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			
1280A	BENCH	CARPET (C-1) INCLUDING STAIRS	VNYL (VB-1)	WOOD PANELS (WP-1)	---	---	---	WOOD LOOK TILE (ACT-2) AT 11'-0" AFF. MAIN FLR.			
1280B	WELL / COUNSEL	CARPET (C-1)	VNYL (VB-1)	WOOD PANELS (WP-1)	---	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	WOOD LOOK TILE (ACT-2) AT 11'-0" AFF. MAIN FLR.			NEW RAISED SUBFLOOR IN THIS AREA. SEE RAISED FLOOR PLAN.
1280C	GALLERY	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	---	FRP TO 36" AFF. / PAINT ABOVE	FRP TO 36" AFF. / PAINT ABOVE	FRP TO 36" AFF. / PAINT ABOVE	ACOUSTICAL TILE (ACT-1) AT 9'-0" AFF. MAIN FLR.			
1183	VESTIBULE	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			
1241	JURY ROOM	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			
1244	JURY BOX	CARPET (C-1)	VNYL (VB-1)	---	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ACOUSTICAL TILE (ACT-1) AT 9'-0" AFF. MAIN FLR.			NEW SUBFLOOR IN THIS AREA
1248A	BENCH	CARPET (C-1) INCLUDING STAIRS	VNYL (VB-1)	---	---	---	WOOD PANELS (WP-1)	WOOD LOOK TILE (ACT-2) AT 11'-0" AFF. MAIN FLR.			
1248B	WELL / COUNSEL	CARPET (C-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	---	WOOD PANELS (WP-1)	WOOD LOOK TILE (ACT-2) AT 11'-0" AFF. MAIN FLR.			NEW RAISED SUBFLOOR IN THIS AREA. SEE RAISED FLOOR PLAN.
1248C	GALLERY	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	FRP TO 36" AFF. / PAINT ABOVE	FRP TO 36" AFF. / PAINT ABOVE	FRP TO 36" AFF. / PAINT ABOVE	---	ACOUSTICAL TILE (ACT-1) AT 9'-0" AFF. MAIN FLR.			NEW RAISED SUBFLOOR IN THIS AREA. SEE RAISED FLOOR PLAN.
1246	VESTIBULE	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			
1248	CONSULT	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			
1249	VESTIBULE	LUXURY VINYL TILE (LVT-1)	VNYL (VB-1)	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ETR			

ROOM FINISH MATERIAL SELECTIONS

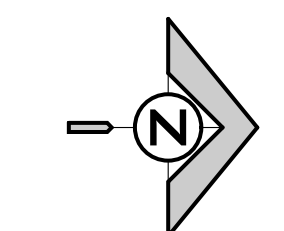
- C-1 MATERIAL ALLOWANCE OF 135 PER SQ. YD. CARPET TILE PATTERN AS SELECTED
- LVT-1 LUXURY VINYL TILE ARISTON "PARALLEL 20", 6x48 COLOR AS SELECTED
- P-1 PAINT MANUFACTURER - XXXX COLOR - XXXX
- FRP FIBRE-REINFORCED PLASTIC MANUFACTURER - XXXX COLOR AS SELECTED
- VB-1 4" HIGH COVERED VINYL WALL BASE MANUFACTURER - TARKETT COLOR - 104ST
- ACT-1 ARISTON "CIRRUS" 24x24 - WHITE ANGLED TEGULAR GRID 9/16 GRID - WHITE
- ACT-2 ARISTON "WOODWORKS Vector" 24x48 and 12x48 W - UNPERFORATED COLOR AS SELECTED 9/16 GRID - BLACK
- WP-1 ARISTON "WOODWORKS Vector" 24x120 W - UNPERFORATED APPLIED VERTICALLY, JOINTS TO ALIGN W/ CEILING GRID W - UNPERFORATED COLOR AS SELECTED

ALTERNATE BIDS

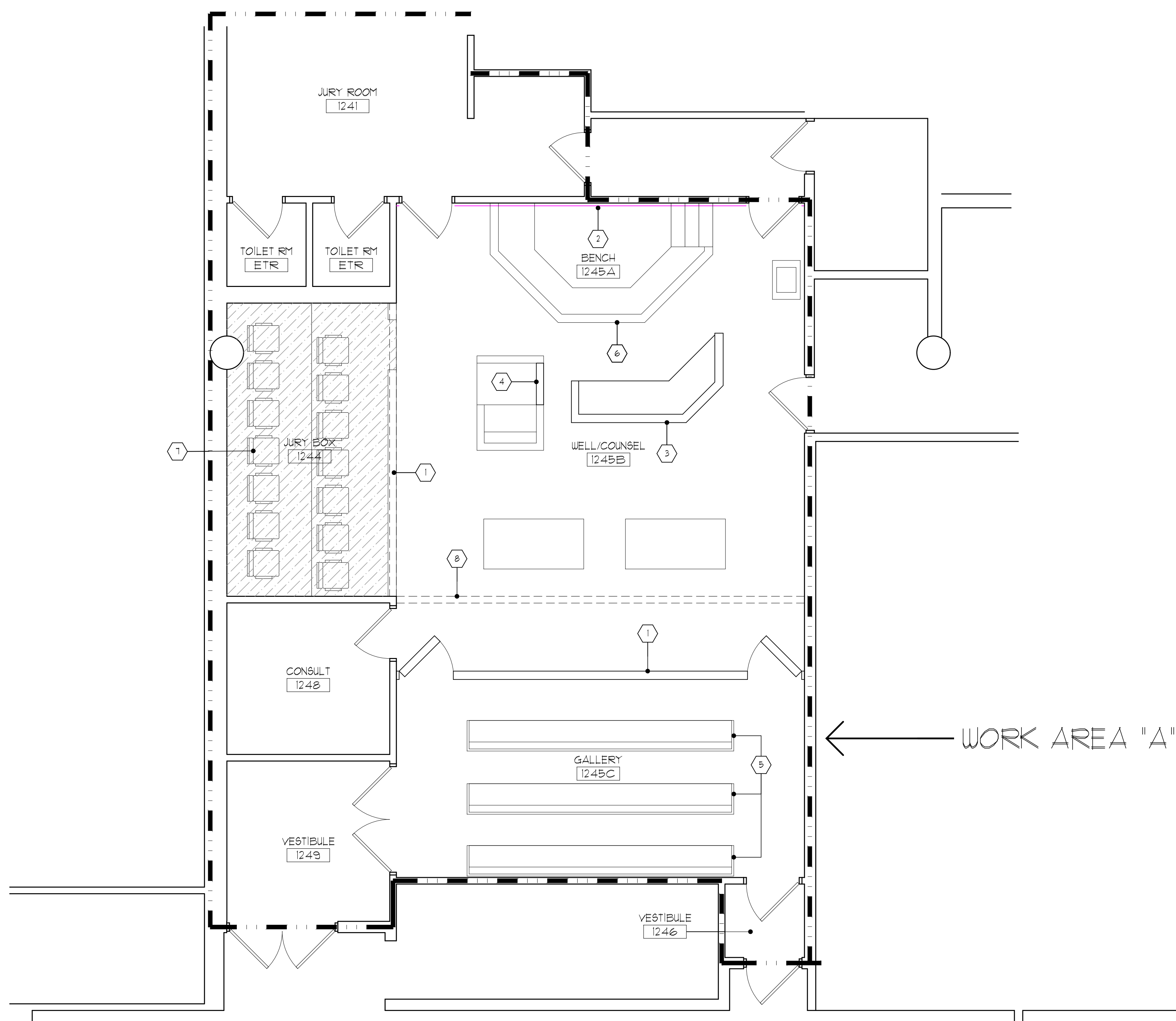
- ALTERNATE BID #1 ADD TO COMPLETE WORK AREA "A" AND WORK AREA "B" SEPARATELY, ALLOWING ONE OF THE COURTROOMS TO FUNCTION WHILE THE OTHER IS BEING REMODELED.
- ALTERNATE BID #2 SUBTRACT TO ELIMINATE WORK IN JURY ROOM #117B AND JURY ROOM #1241

KEYED REMODEL NOTES (this sheet)

- 1 NEW 3/4" THICK PLYWOOD TO BE INSTALLED OVER EXISTING FLOOR FRAMING AS REQD.
- 2 EXISTING DWARF WALL TO BE RELOCATED TO LOCATION IN LINE W/ EXISTING GATE ON SOUTH SIDE. REMODEL WALL AS REQD. WOOD TO BE FILLED, SANDED SMOOTH AND RE-STAINED AND VARNISHED TO BE UNIFORM ACROSS ALL SURFACES. STAIN COLOR AS SELECTED.
- 3 NEW WOOD VENEER WALL PANELS OVER ENTIRE WALL. SEE ROOM FINISH SCHEDULE.
- 4 NEW MILLWORK WORKSTATION. SEE ELEVATIONS THIS SHEET.
- 5 REMODEL MILLWORK TO EXTEND SIDE WALL TO REAR OF EXISTING WITNESS STAND.
- 6 EXISTING FEELS TO BE REFINISHED. WOOD TO BE FILLED, SANDED SMOOTH AND RE-STAINED AND VARNISHED TO BE UNIFORM ACROSS ALL SURFACES. STAIN COLOR AS SELECTED.
- 7 EXISTING JUDGE'S DESK TO BE REFINISHED. WOOD TO BE FILLED, SANDED SMOOTH AND RE-STAINED AND VARNISHED TO BE UNIFORM ACROSS ALL SURFACES. STAIN COLOR AS SELECTED.
- 8 NEW FLOOR-MOUNTED JURY CHAIRS, PURCHASED BY OWNER, INSTALLED BY GENERAL CONTRACTOR.
- 9 NEW SOFFIT CONSTRUCTED OF 1/2" GYPSUM BO. ON BOTH SIDERS OF 3x1" DEEP METAL STUDS AT 16" O.C. HANG FROM STRUCTURE ABOVE. RUN GYPSUM BO TO 6" ABOVE FINISH CEILING HEIGHT. BOT. OF SOFFIT AT 8'-10" AFF.

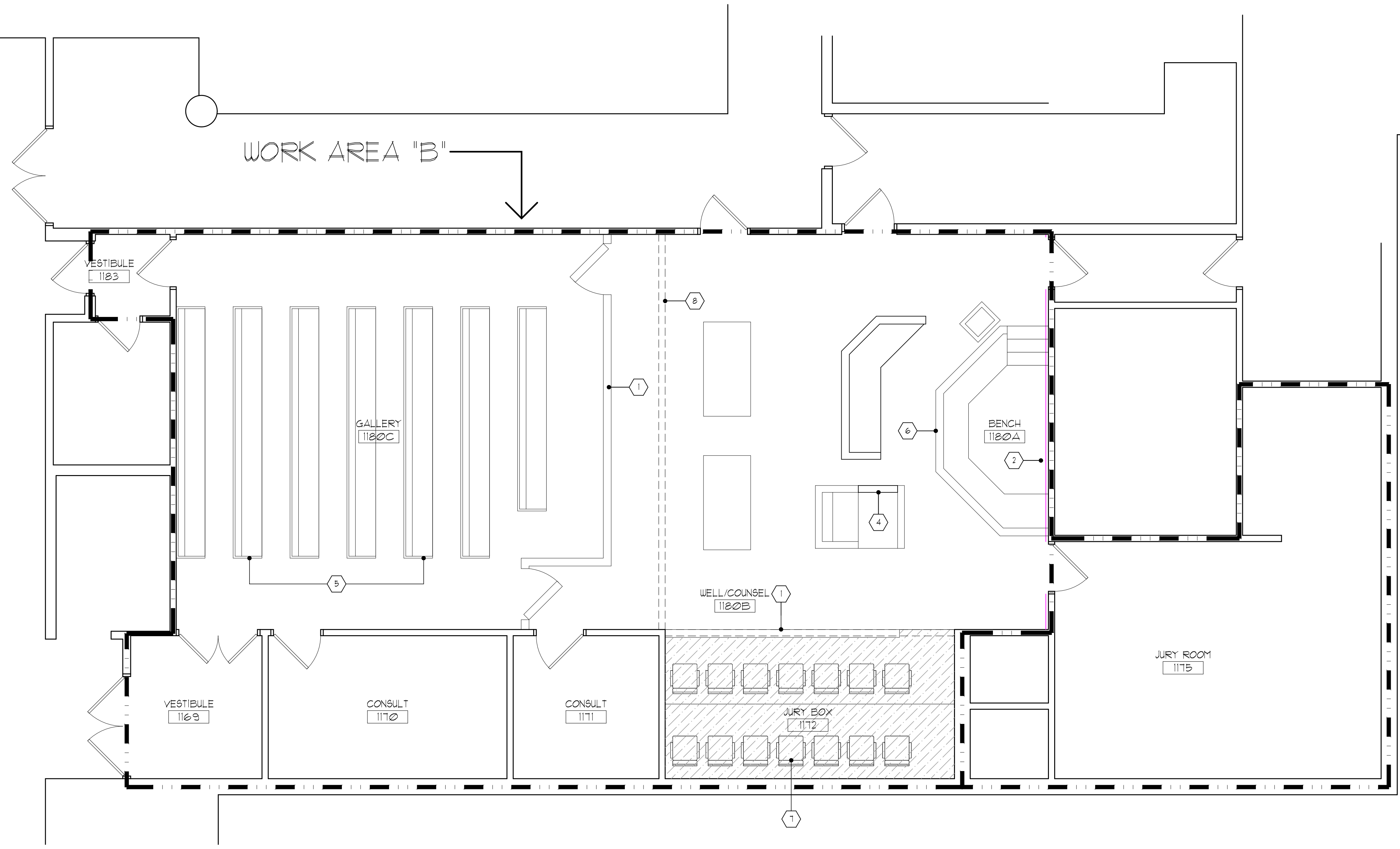


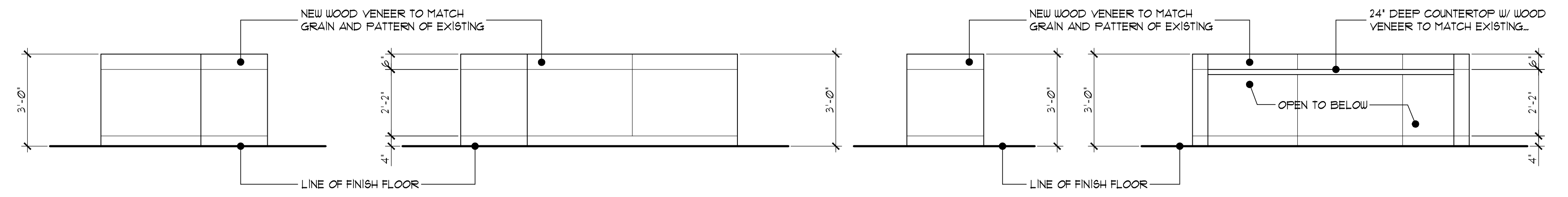
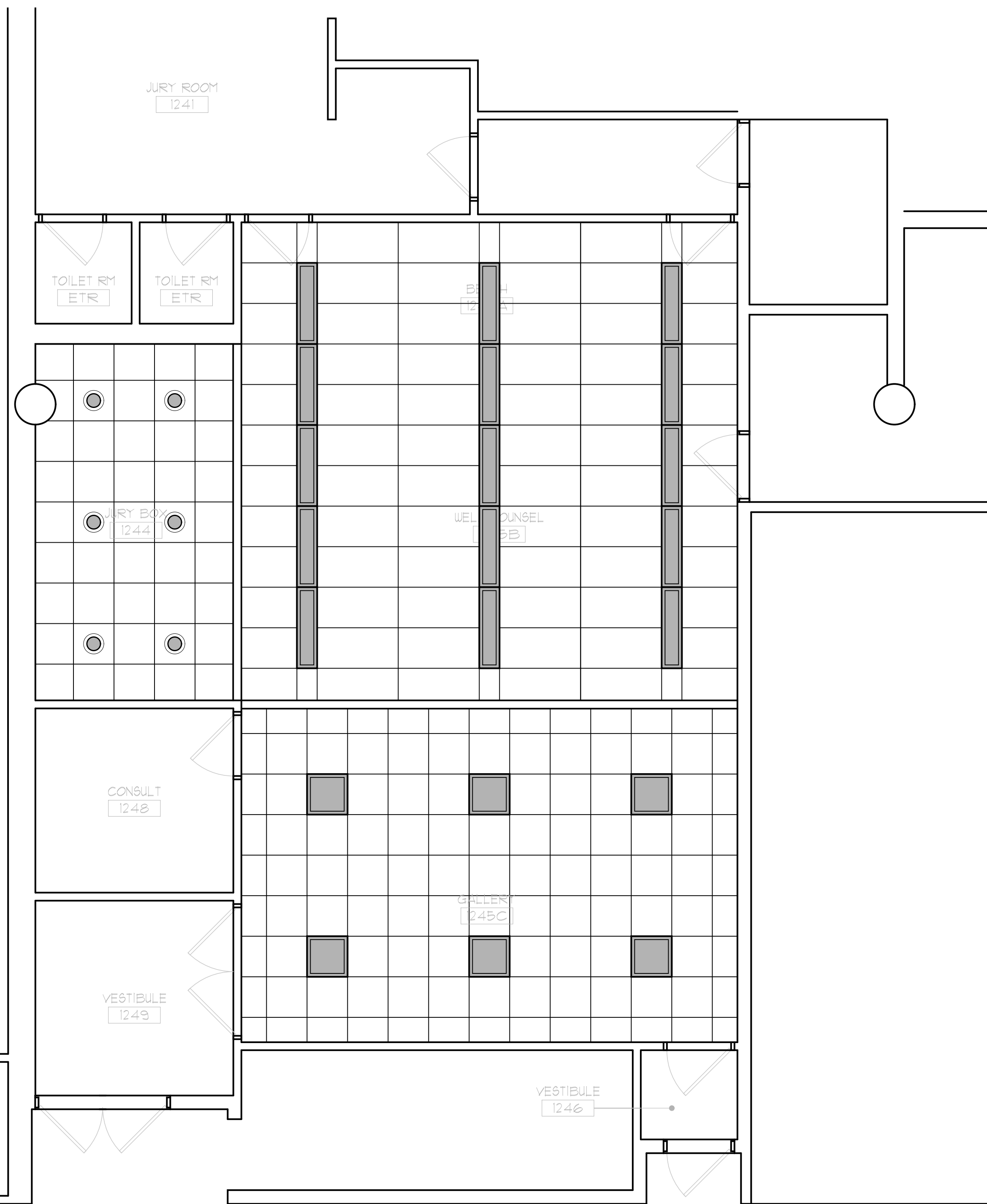
REMODELED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



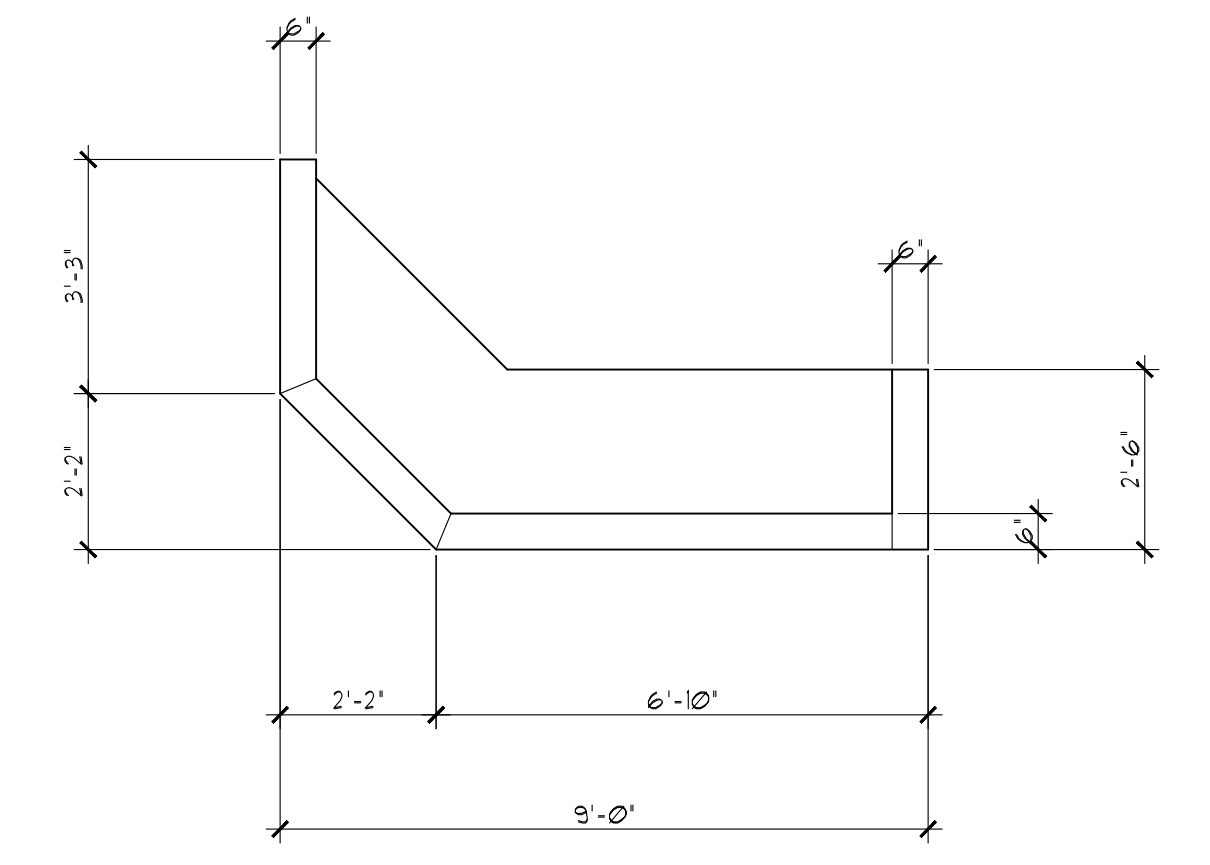
← WORK AREA "A"

↓ WORK AREA "B"



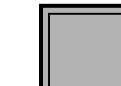


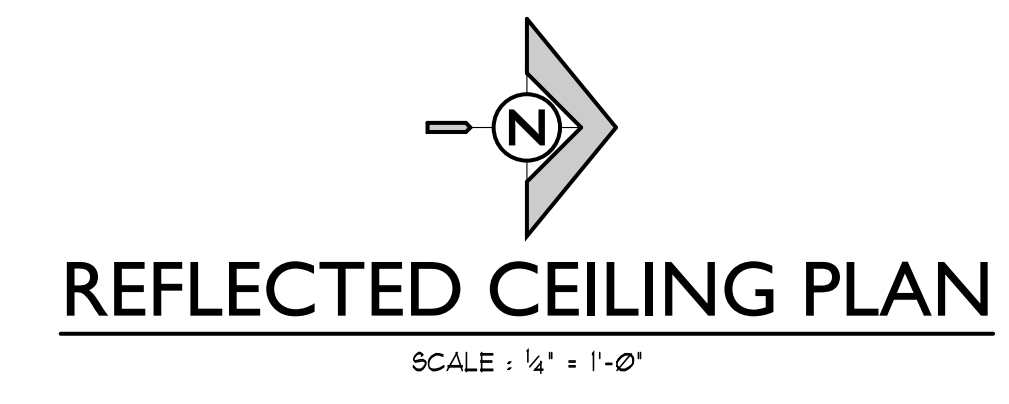
ELEVATIONS of COURT CLERK WORKSTATION in COURTROOM 1180
 SCALE: 3/8" = 1'-0" WORKSTATION IN COURTROOM 1248 SIMILAR IN MIRROR



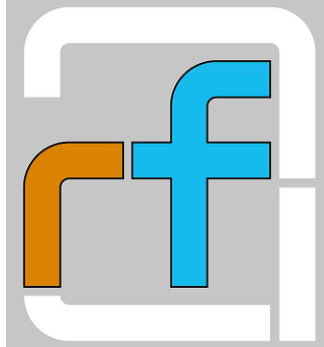
PLAN of WORKSTATION
 SCALE: 3/8" = 1'-0"

REFLECTED CEILING LEGEND

-  NEW 14x24 LED DROP-IN LIGHT FIXTURE
-  NEW 12x48 LED DROP-IN LIGHT FIXTURE
- NEW 6" CANLESS CEILING LED LIGHT FIXTURE



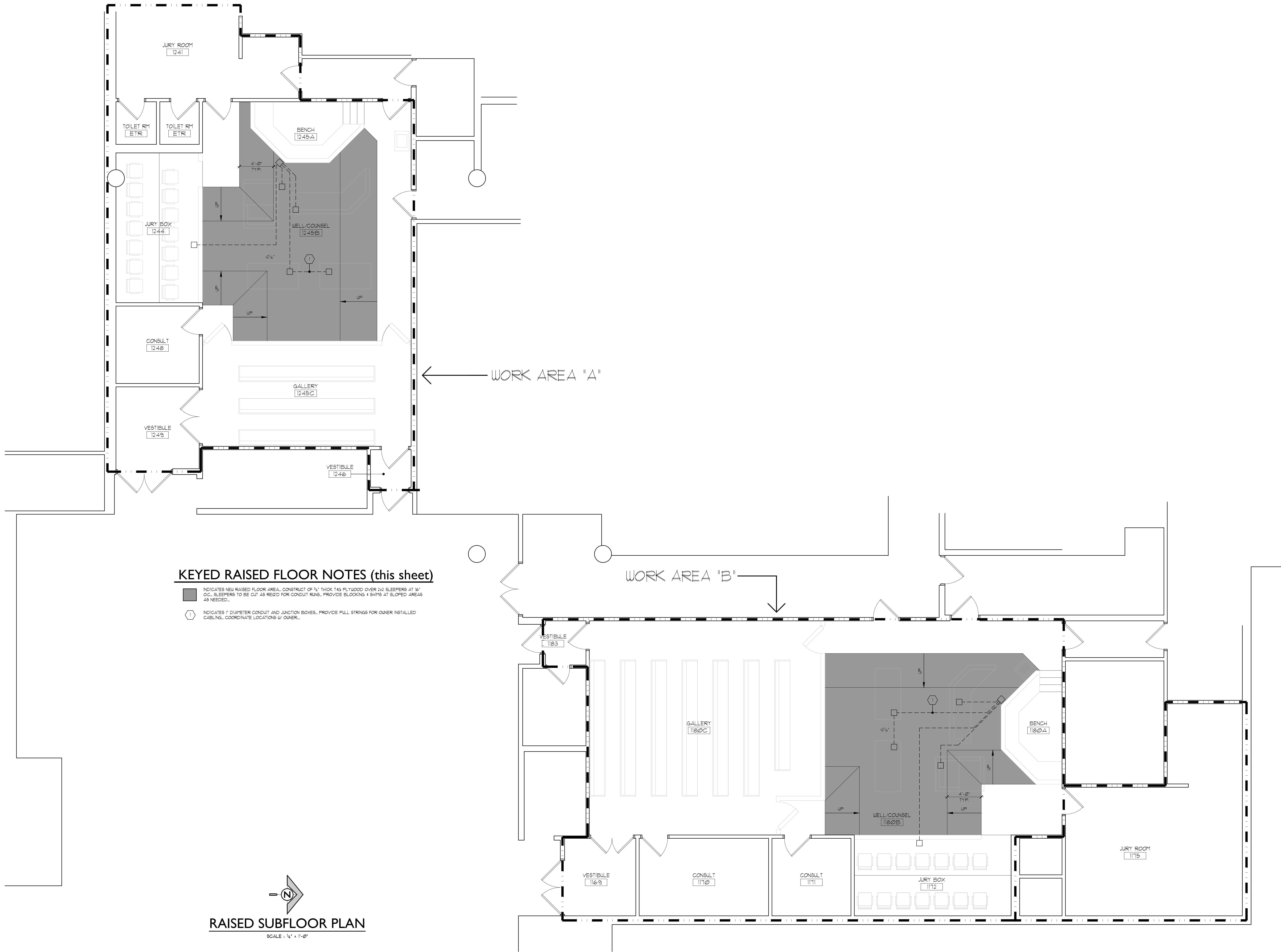
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



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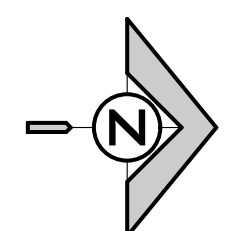
REVISIONS

SHEET NO.
A4



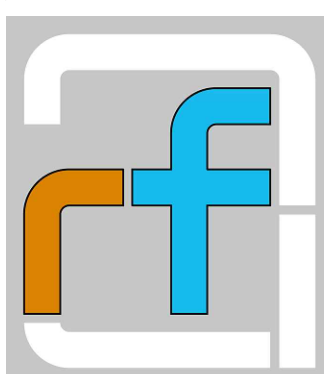
KEYED RAISED FLOOR NOTES (this sheet)

- INDICATES NEW RAISED FLOOR AREA. CONSTRUCT OF 3/4" THICK T&G PL. WOOD OVER 1/2" SLEEPERS AT 16" O.C. SLEEPERS TO BE CUT AS REQ'D FOR CONDUIT RUNS. PROVIDE BLOCKING + SHIMS AT SLOPED AREAS AS NEEDED.
- INDICATES 1" DIAMETER CONDUIT AND JUNCTION BOXES. PROVIDE PULL STRINGS FOR OWNER INSTALLED CABLING. COORDINATE LOCATIONS W/ OWNER.



RAISED SUBFLOOR PLAN

SCALE: 1/4" = 1'-0"



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A5